

SPRING GARDEN WEST

HERITAGE IMPACT STATEMENT

MARCH 06, 2018



COVER IMAGE: 1953 FUNERAL PARADE

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01 INTRODUCTION

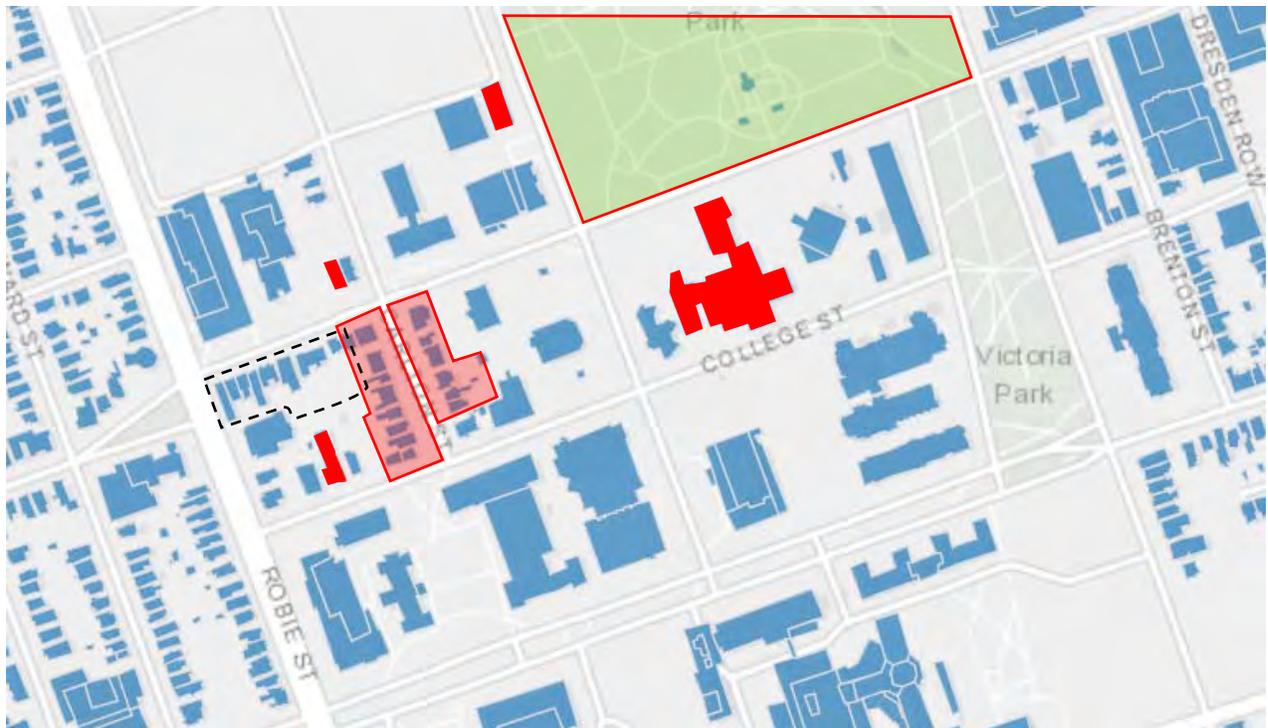
The Spring Garden West project is a mixed-use development designed and proposed by Dixel Architecture and Dixel Developments covering the northern half of the Halifax block bordered by Robie Street, Carlton Street, College Street and Spring Garden Road. The project includes three municipally registered heritage buildings forming part of the registered Carlton Street streetscape, and is adjacent to other registered buildings and open space. Architecture49 has been retained by Dixel Architecture to prepare a Heritage Impact Statement for the project and to provide guidance on the proposed work to the three registered properties. This report will examine the design with respect to its compliance with the Province of Nova Scotia's Heritage Property Act, and the City of Halifax's adopted Standards and Guidelines for the conservation of heritage properties.

The objectives of this report are to:

- Provide a description of the existing heritage properties and outline an understanding of their heritage value and character defining elements.
- Provide a general history of the evolution of the subject properties.
- Describe the proposed alterations to the buildings and sites and how those alterations meet the objectives of the City of Halifax and impact the existing site.
- Outline considered alternatives to the proposed design.
- Outline a schedule and reporting structure for the implementation of the proposed heritage strategy and its monitoring.
- Provide a summary statement for this report and its heritage recommendations.

02 PROJECT LOCATION

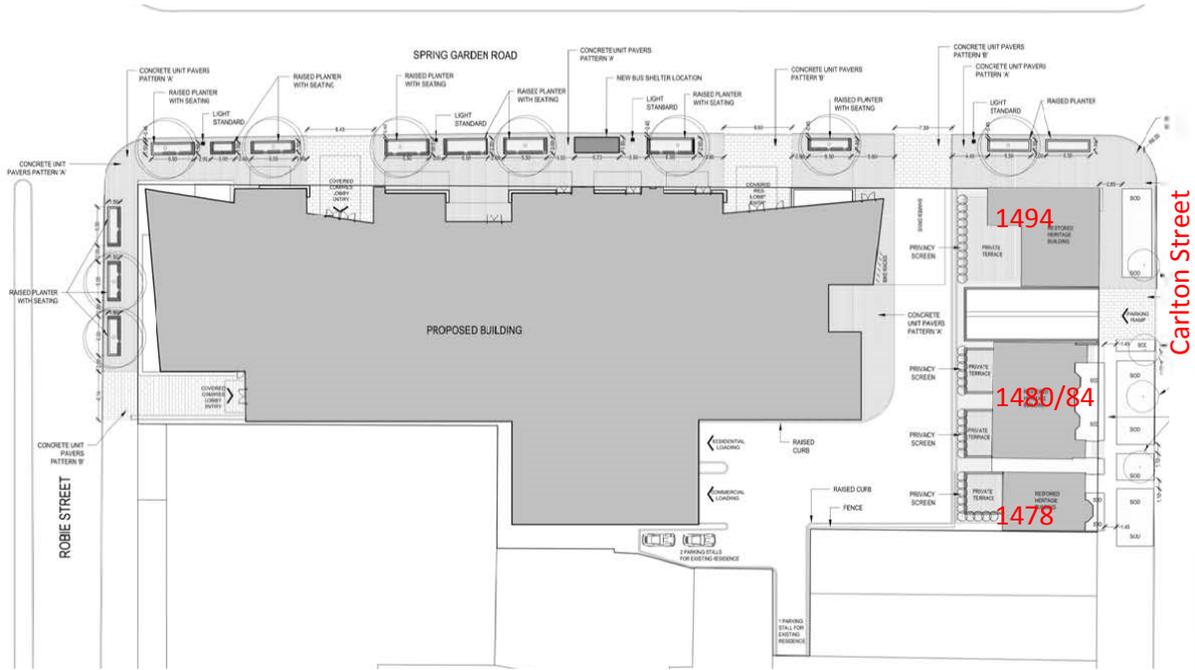
The proposed project area covers multiple existing properties and buildings starting with the Coburg Apartments at the corner of Robie Street and Spring Garden Road and continuing east on Spring Garden to 1494 Carlton Street, and the properties south on Carlton including 1480/84, and 1478 Carlton. The buildings on Carlton Street are municipally registered as part of the Carlton Street streetscape which includes all other remaining addresses on Carlton Street as well as 5950 Spring Garden Road as part of 1494 Carlton Street. Similarly registered heritage properties include the William Barnstead House across the street from 1494 Carlton at 5945 Spring Garden Road, the Gold Cure Institute Building at 5969 College Street, and the Halifax Public Gardens and the adjacent Garden Crest Apartments and Sacred Heart School.



-  Proposed Development Site
 -  Carlton Street Streetscape Registered Heritage Buildings
 -  Adjacent Registered Heritage Property
 -  Halifax Public Gardens
-

It should be noted that the proposed project area is shown as an area of elevated archeological potential as shown on the HRM Halifax Peninsula Land-Use By-Law ZM-20 map on page 142 of the By-Law. Given the age of the existing properties, many of which appear to be the first buildings built on the land, and the generally clear inner area of the block, the work may expose evidence of allotment improvements dating from the early 1800's.

03 NEW CONSTRUCTION GENERAL DESCRIPTION



Site Plan, Dixel Architecture

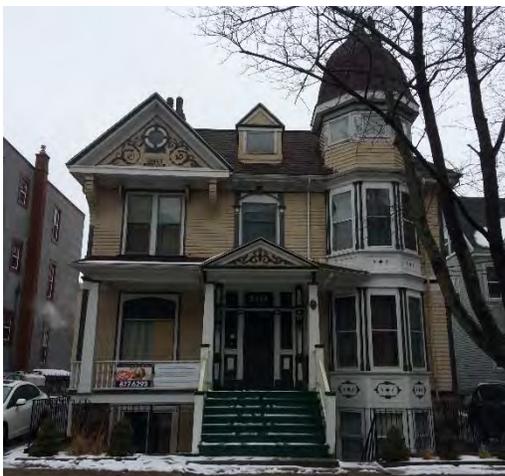
The proposed project development application drawings have been previously submitted to HRM. They describe an east-west four storey podium base, with a thirty storey tower on the eastern end of the podium and a sixteen storey tower at its western end. Parking for approximately 380 cars would be located on four underground floors accessed via Carlton Street.

The building would contain approximately 345,000 square feet of above ground usable space including ground floor retail, three floor of office space, and approximately 250 residential units. Refer to the appended application drawings for floor plans, elevations and perspectives of the new building.

04 ADJACENT REGISTERED HERITAGE PROPERTIES

The proposal site is a minimum 160 meters from the Halifax Public Gardens, Sacred Heart School, and Summer Gardens Apartments, with the developments sitting between these buildings and the project site being of similar form to the proposed work. They are noted here for their shared contemporary history in the development of the Halifax Commons. The appended proponent's submittal addresses daylighting and shadows related to these sites which we understand to be mitigated by distance and the existing buildings between the sites.

The heritage properties at 5969 College Street and 5945 Spring Garden Road are of similar age, size, and design to the Carlton Street Streetscape registered properties. As such, the description and proposed work impacts on these two properties are largely the same as those that will be presented for the Carlton Street Streetscape.



5969 College Street



5945 Spring Garden Road (Left)

05 CARLTON STREET REGISTERED HERITAGE PROPERTIES

DESCRIPTION AND HERITAGE VALUE

The Carlton Street Early Victorian Streetscape¹ consists of seventeen individually registered heritage properties lining both sides of Carlton Street between Spring Garden Road and College Street. The properties consist of one and one half, two, and two and a half storey homes, individual and duplexes, built between the years c. 1860 and 1906². The buildings form a generally cohesive late 19th century residential streetscape, with similar setbacks, massings, fenestrations, and side-hall layouts. This collective unity is one of the principle heritage values for each of the individual properties, with the streetscape being the last intact residential portion of the initial Spring Gardens development on the South Common.

Architecturally the buildings have value in their shared common Victorian language and design, with individual examples of the later diversification of the Victorian residential style.³



Carlton Street Looking South from Spring Garden Road

¹ 'Early Victorian Streetscape' description is taken from the HRM Heritage Registry

² HRM Heritage Registry

³ Park Canada Register, Carlton Victorian Streetscape

<http://www.historicplaces.ca/en/rep-reg/place-lieu.aspx?id=3584&pid=0>

CARLTON STREETScape CHARACTER DEFINING ELEMENTS

The Parks Canada Registry listing notes a number of character-defining elements relating to the common styles of the properties including;

- Mix of Greek Revival, Modified Gothic, and Second Empire style homes;
- Steeply pitched gable and mansard roofs;
- Two and three storey wood framed structures;
- Wood siding;
- Side hall plan and central entrances;
- Complimentary window styles in shape and size;
- Variety of dormers, windows, and bays, decoration, porches, and verandas.⁴

To this list can be added;

- Common building relationship to the street and sidewalk with limited setback from sidewalk and a ten foot deep lawn between sidewalk and curb with mature hardwood trees and canopy.
- use of symmetrical duplex design with otherwise limited side-yard setbacks.



South Western Streetscape

⁴ Park Canada Register, Carlton Victorian Streetscape
<http://www.historicplaces.ca/en/rep-reg/place-lieu.aspx?id=3584&pid=0>



1489 Carlton



1483 Carlton



1479 Carlton

1477 Carlton

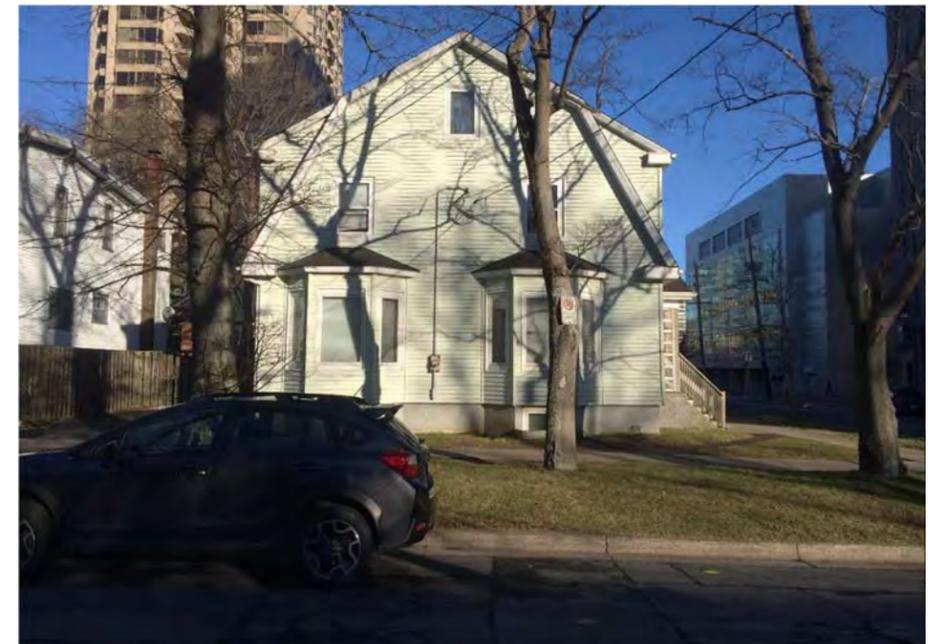


1471 Carlton



1465 Carlton

1459 Carlton



4853 College (not a registered heritage property)

CARLTON STREET EAST ELEVATIONS



1452 Carlton



1456 Carlton



1460 Carlton



1466 Carlton



1468 Carlton



1474 Carlton



1478 Carlton



1480 Carlton



1484 Carlton



1494 Carlton

CARLTON STREET WEST ELEVATIONS

CARLTON STREET HISTORY

Carlton Street sits on land that what part of the Halifax Common, more specifically the South Common. The Common was proclaimed “for the use of the inhabitants of the Town of Halifax as Common forever” in 1763 by act of King George III.⁵ The 18th century concept of Common lands in Nova Scotia was generally that of shared agricultural open space for planting of crops and grazing of livestock, or for collecting firewood. The Common in 1763 was treed wetland, “rocky, swampy and unsuitable for cultivation.”⁶ Never the less, the land was cleared for the defense of the city, and initially used for its intended purpose and for the use of the military. Principal roads cut across the Commons, leading out from City to other locations around the peninsula and beyond.



Plan of Fort George, Royal Engineers' Office, 1830. Common land in light green.

⁵ Celebrate the Common, Friends of Halifax Common, 2013, p.4

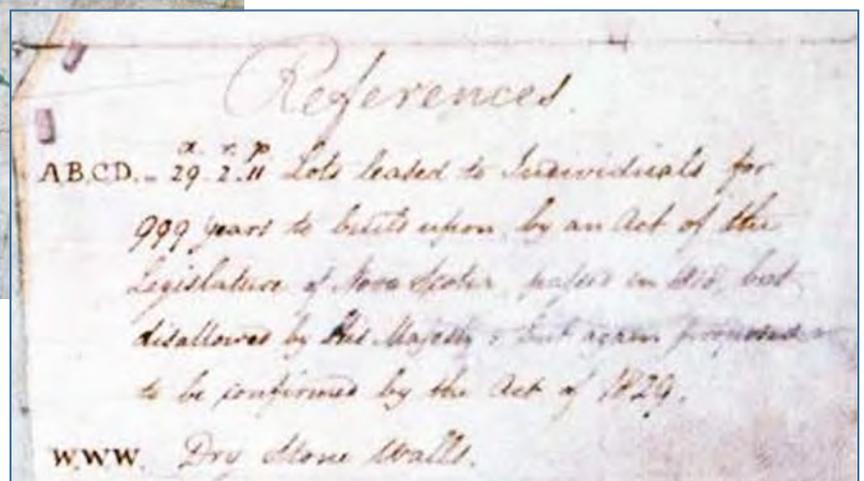
⁶ Halifaxcommon.ca/timeline/index.html

**Spring Garden West
Heritage Impact Statement**

Spring Garden Road was extended through the Common to Robie Street in 1818 and lots along either side leased to private citizens as an improvement of the lands and benefit to the public.^{7 8} The map of 1830 shows the early configuration of the Common and outlines the early division of the South Commons for these leased plots as defined by the letters A,B,C, and D. The reference for the plots on the map notes the original 1818 leases were not granted by the crown, but subsequently approved in 1829. The leases are noted as having a length of 999 years⁹. It should be noted that the map indicates the block layout for the site, garden walls, and buildings. Carlton Street highlighted in red. The planting of trees was a requirement of the initial lease.¹⁰



1830 Map Detail and reference note



⁷ Halifaxcommon.ca/timeline/index.html

⁸ The Halifax Common:250+ Years of Community use, Susan Markham-Starr, Acadia University, presentation copy. p.22.

⁹ Currently lots in the neighbourhood are free-hold.

¹⁰ 1478 Carlton Street (VII) – A Research Brief, Wayde Brown, B. Arch. August 27 1984. P.1.



Halifax Citadel from the road to Northwest Arm, watercolour by Alexander Cavalie Mercer, 1842

The above 1842 painting by military illustrator Alexander Cavalie Mercer may show these early lease plots and stone walls.¹¹

While portions of these leases would later become portions of the Halifax Public Gardens, the land otherwise remains in private control. In 1871 Halifax City Council authorizes the selling of lots on Spring Garden Road to 'encourage suitable private development without public cost.'¹² The noted construction dates for some of the Carlton Street homes pre-date this 1871 authorization. One might assume that until 1871, the leases did not allow for sub-division of the lots.

Surrounding developments on the South Common including the new Nova Scotia Horticultural Societies Gardens (later Halifax Public Gardens), Hospitals, an exhibition building, a relocated Dalhousie University, Sacred Heart School, and close proximity to the old town would have made this strip of residential property desirable (as it remains today). On the detail of the 1865 Church's map below we see an early reference to Spring Gardens,

¹¹ Halifax In Watercolour, The Paintings of Alexander |cavalie Mercer, 1838-1842, Glenn Devanney, Nimbus Publishing, 2014, p.35. Also see Library and Archives Canada, Copied container number: 08:A6, C-013727.

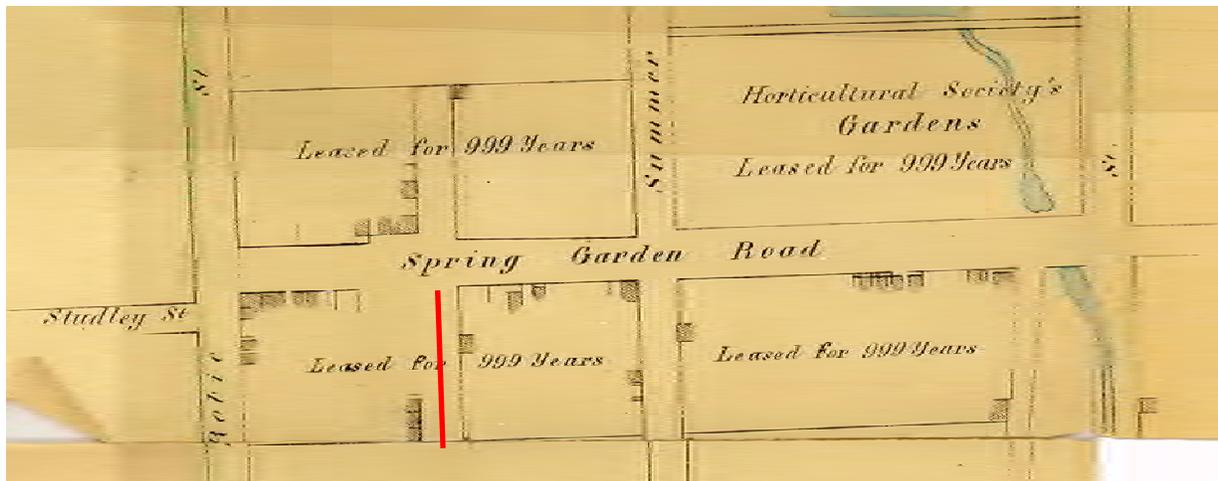
¹² Halifaxcommon.ca/timeline/index.html

**Spring Garden West
Heritage Impact Statement**

named for a fashionable London neighbourhood.¹³ Buildings have appeared along Spring Garden Road with what looks to be at least two buildings on Carlton.



Church's Map, 1865, detail

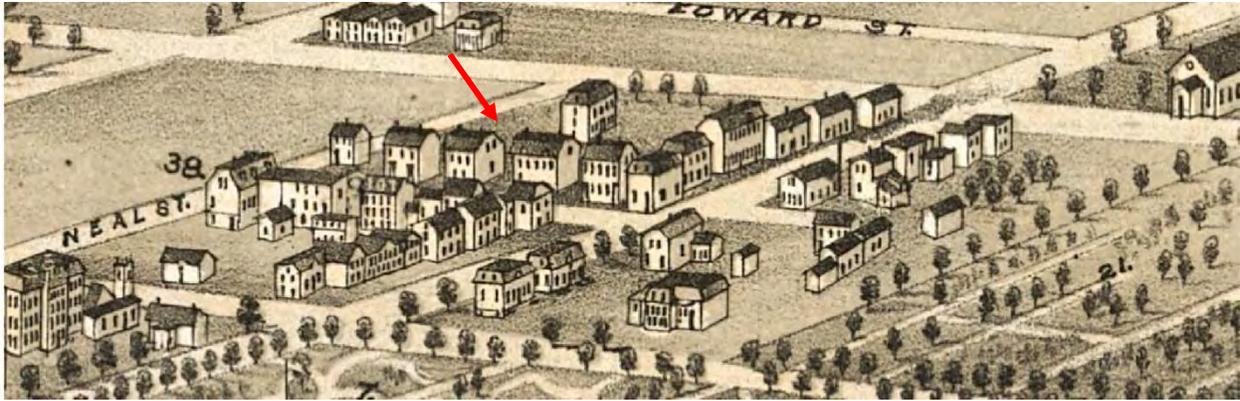


HRM Archives CR10-064, Detail

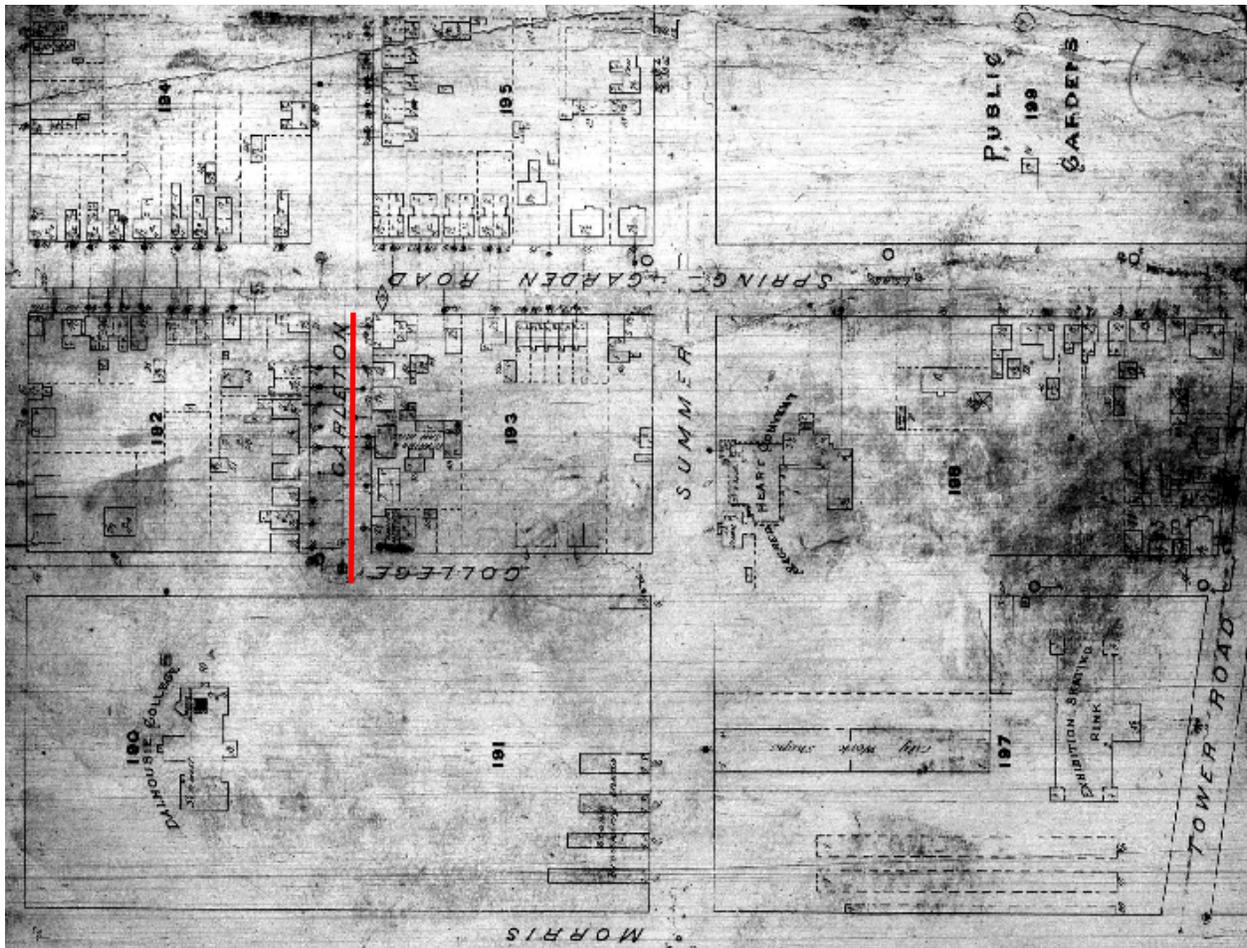
Hopkins Atlas of 1878 shows a maturing 'Spring Garden Div.'" with many of Carlton Street's current buildings present.

¹³ It is interesting to note that Spring Gardens of London, was a street of private lots laid over portions of a garden which was formerly part of St. James's Park with interim use as a paid pleasure garden.
<http://www.british-history.ac.uk/survey-london/vol20/pt3/pp58-65>

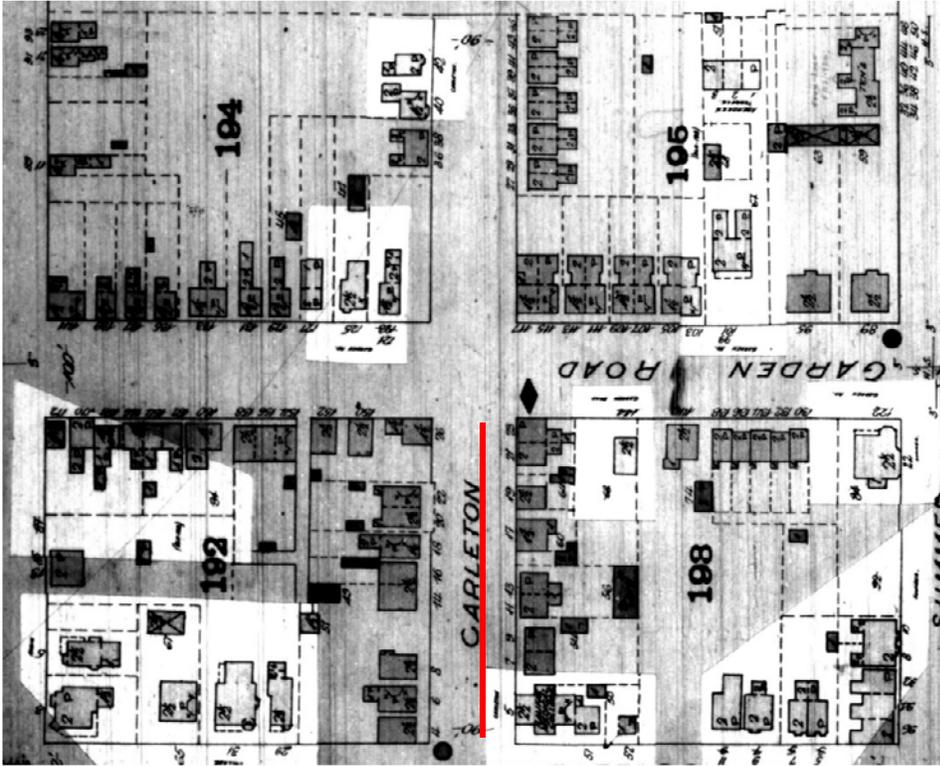
Spring Garden West
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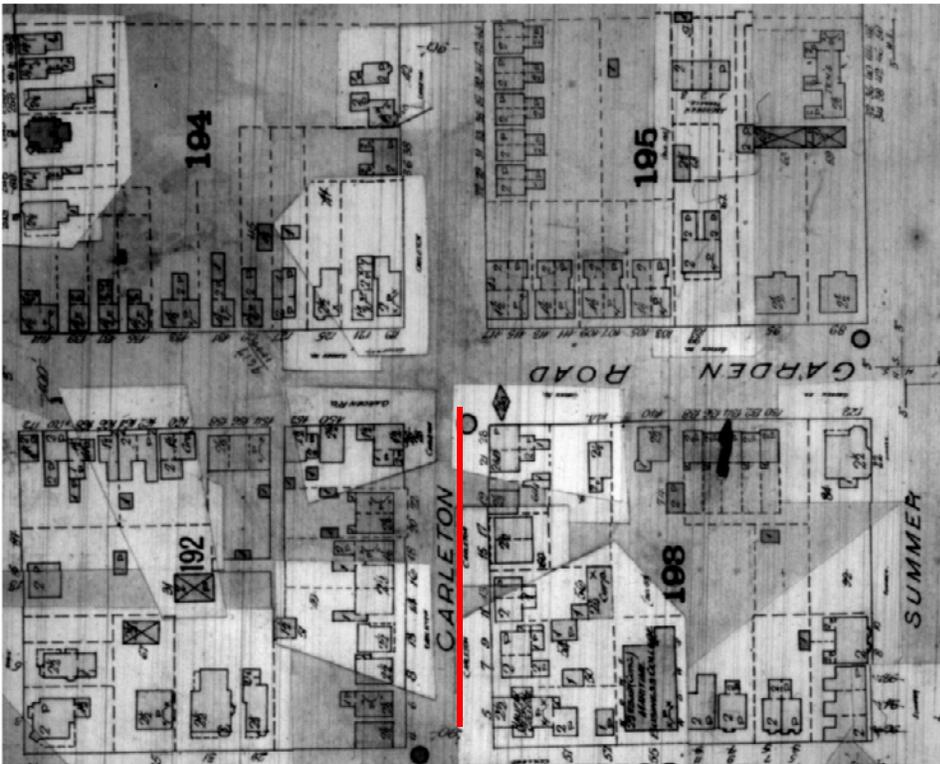
Halifax Bird's Eye View, 1879, Detail



1889 Goad's Atlas

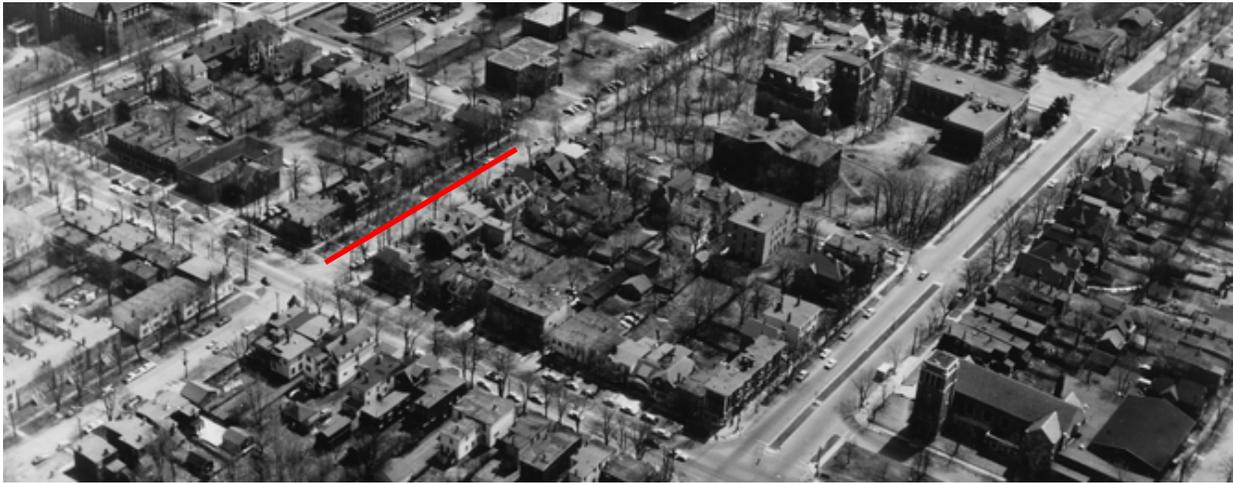


1895 Goad's Atlas

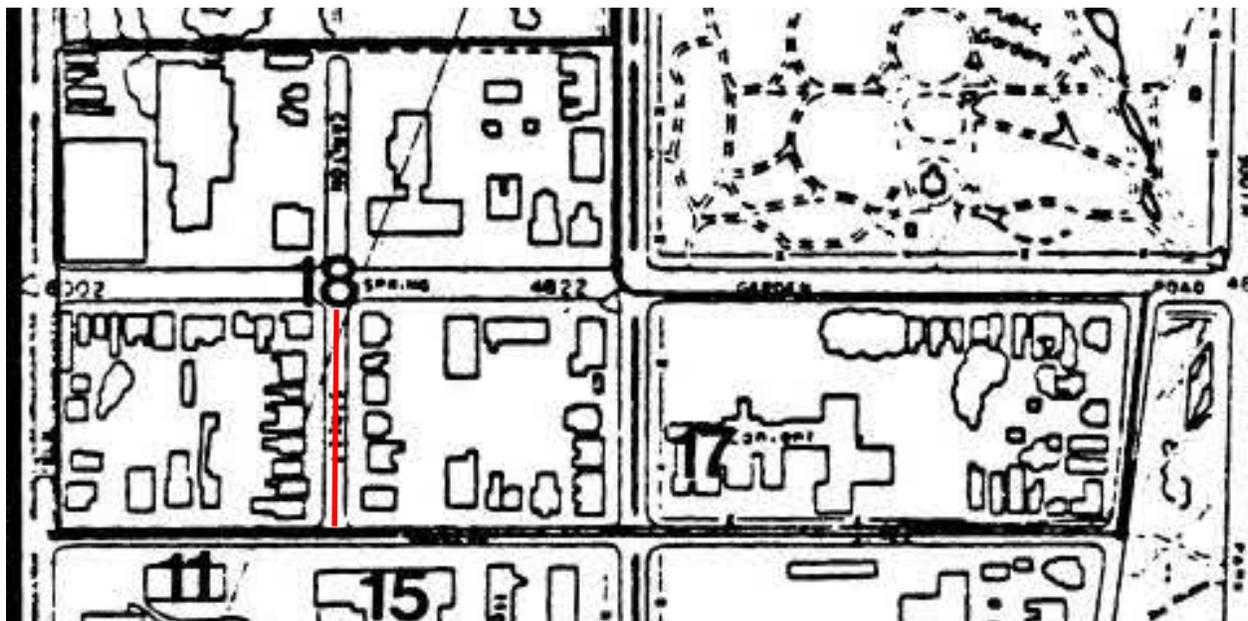


1914 Goad's Atlas

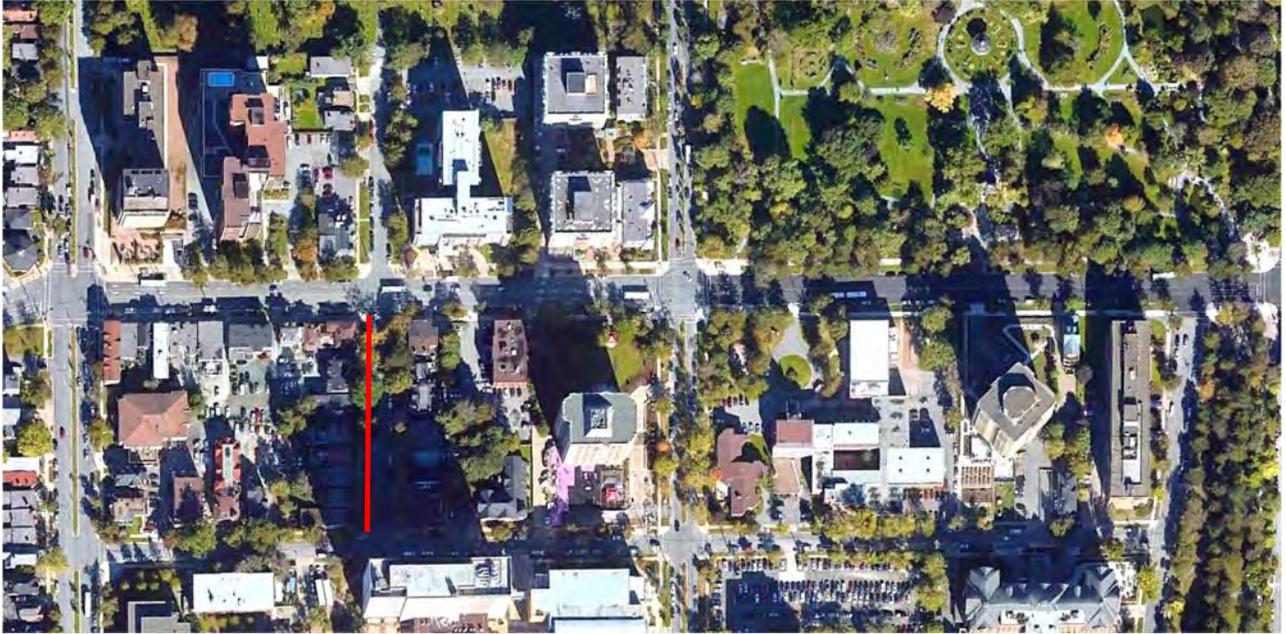
Spring Garden West
Heritage Impact Statement



Carlton Street, Pre-Tupper Building



1979



Google Earth View: Contemporary Spring Gardens Division.

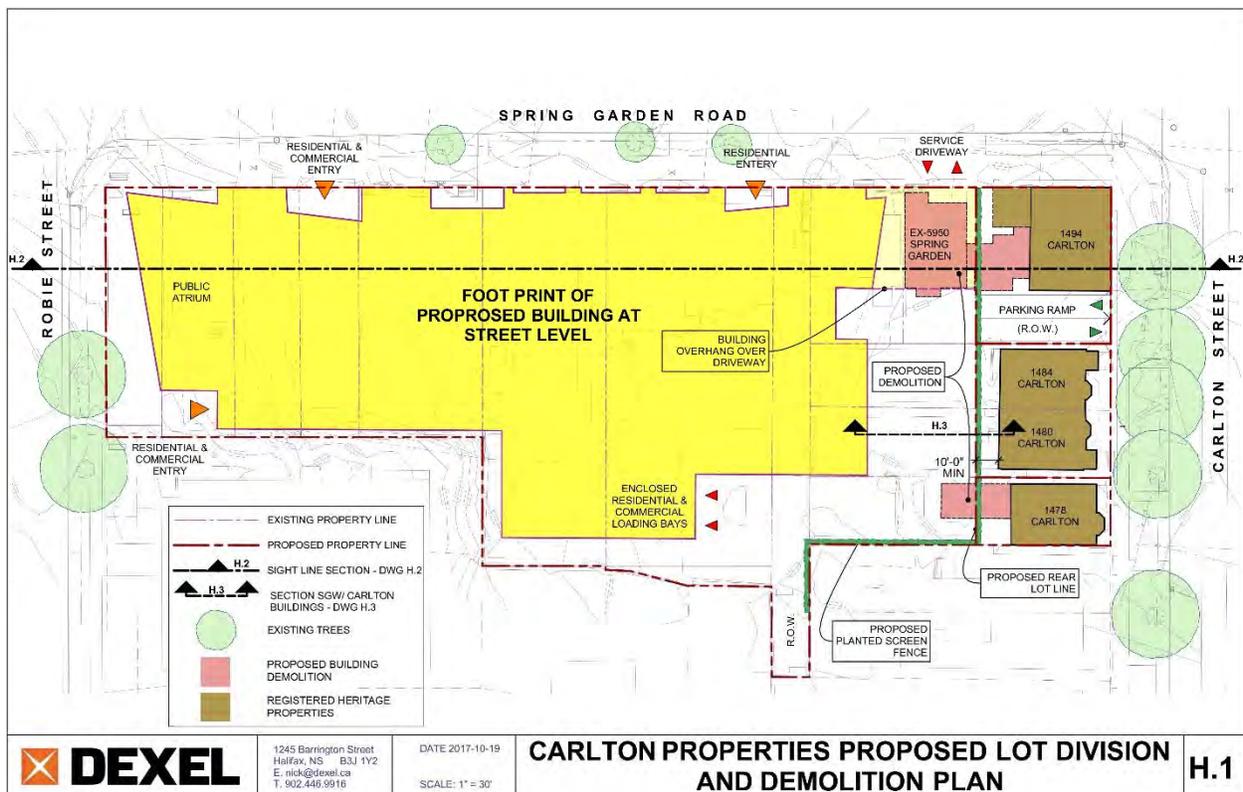
With the ensuing intensification of institutional uses on the South Common, and the maturing of the western portions of Peninsular Halifax, Spring Garden Road progressively has taken on the stature of an important commercial thoroughfare. The desirable nature of the street has led to the development of many of the original private lease lots as high-rise residential or office buildings. Most 19th century buildings that remain on the street have been converted to commercial use, with mixed results. The City of Halifax recognized the development pressures on the area and in 1984 registered the Carlton Street Addresses south of Spring Garden Road. While the registrations are individual, the effect was the creation of an informal heritage district, greater than the sum of its parts.

CURRENT CONDITION

The Carlton Streetscape remains a coherent whole with mature trees lining a street with buildings ranging from very well kept, to rental housing suffering from significant neglect. We understand that only one existing house, 1474, is owner occupied, several are business or personal services occupancies, while the remainder are rental units. It is not surprising that the owner-occupied building is one of the better maintained structures. In addition to the buildings directly affected by this proposal, the four south-westerly buildings are also under pressure for development due to land consolidation on the south half of the block.

PROPOSED WORK

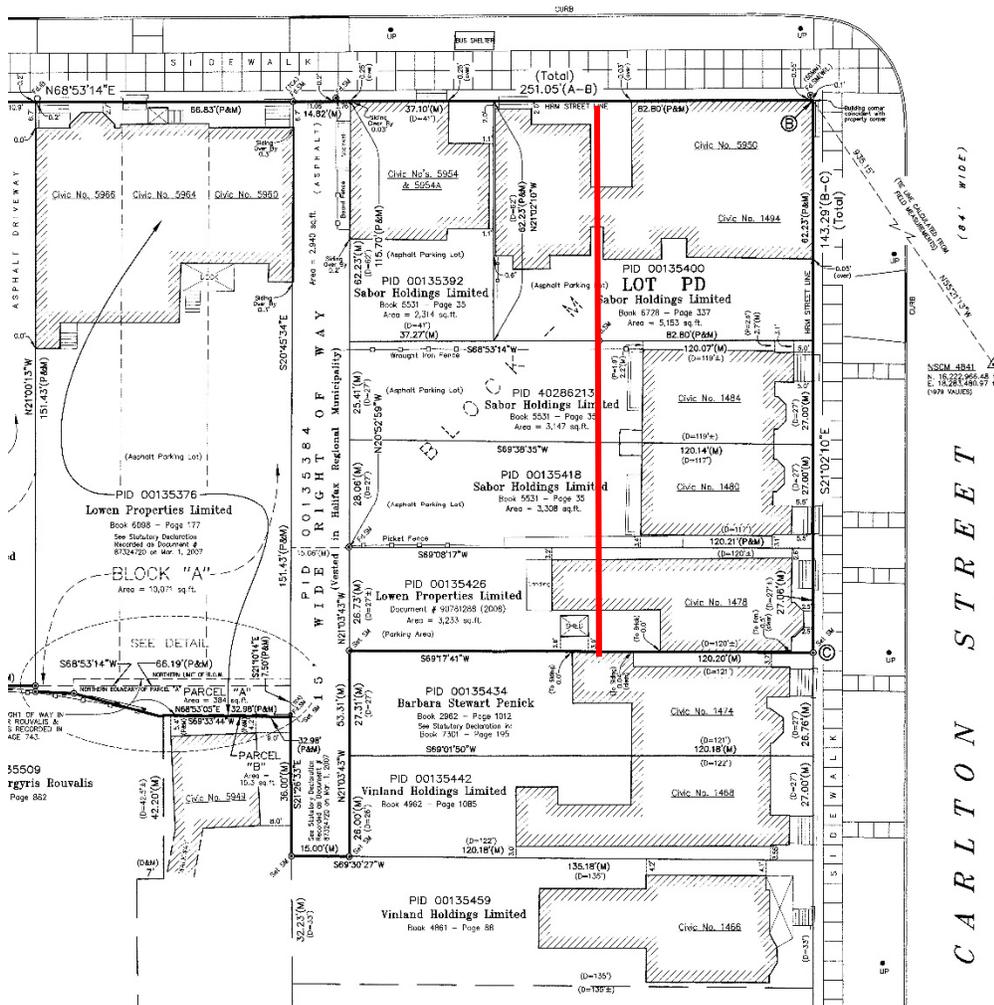
As described earlier, the development proposed under this application involves the construction of a large development consisting of two towers on a common podium on the northern half of the city block. The project proposes several direct changes to four adjacent registered heritage addresses on three properties, with working ranging from preservation, rehabilitation and restoration, to partial demolition. Work to each of the buildings will be discussed individually in sections to follow. In this section we will review the changes that affect the subject properties universally and the streetscape as a whole.



Plan showing proposed ground floor footprint of new building and adjacent Carlton St. heritage properties.

PROPERTY LINE ADJUSTMENT

The proposed project would involve the subdivision of the three heritage properties such that portions of their existing rear yards could be consolidated into the larger development project. The proposed division line corresponds generally with the previous property line between the now connected buildings at 1494 Carlton Street and 5950 Spring Garden Road, running south to the northern boundary of 1474 Carlton. The yard shortening enables the extension of underground parking, western extension of the new above ground portions of the building, and maximizing of Spring Garden Road retail frontage while still providing service and right-of-way vehicle traffic off of Spring Garden.

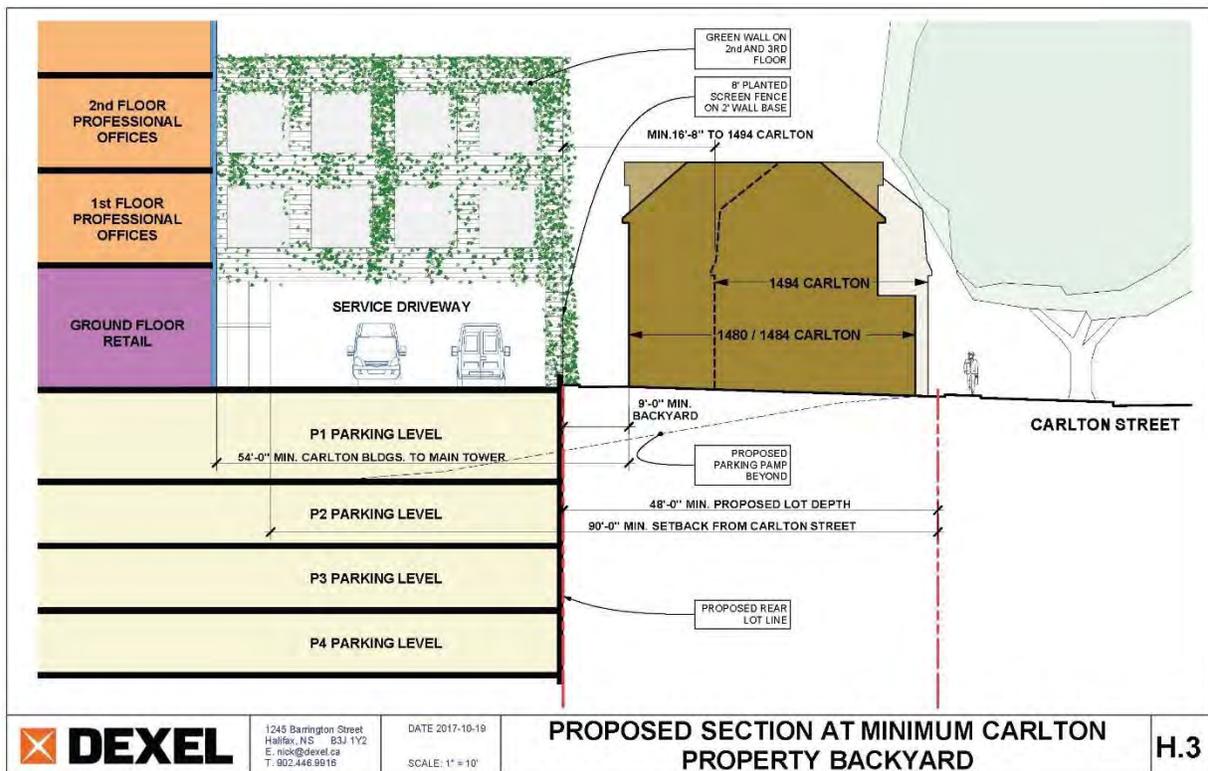


Site Plan with Proposed Adjusted Property Line

The immediate consequences of the property adjustment and their reasoning include:

- Shortening of the rear yards.
- Demolition of 5950 Spring Garden Road.
- Demolition of 1990 additions joining 5950 Spring Garden and 1494 Carlton.
- Demolition of the rear L wing of 1478 Carlton Street.
- Shoring during construction of western foundations of 1478 to 1494 Carlton.
- Shoring during construction for north-west corner foundations of 1474 Carlton.

The noted demolitions and removals will be addressed below in the examination of each individual property.



Section at New Property Line

Shoring of the existing walls would allow for deep excavations for the proposed parking levels of the property. It is a reasonably straightforward process of wall underpinning or retaining barriers as sub-soil conditions require. We do not believe it to be a long-term issue for the heritage value of the properties.

The shortening of the yards represents a loss of use of this portion of the properties. We believe that given the current use as parking suggests the practical loss is negated by the provision of parking within the new development. Further, we do not believe the original length of the yards to be a character defining element for the properties. Each property will retain a 10' (3M) rear yard. Yards would be screened from the adjacent property by 8' vegetated screens.

Also counter-balancing against the rear yard loss is the overall financial benefit to the project that the use of the yards allow. That benefit provides funds for the restoration of the heritage structures, but more importantly, in facilitating the project, removes speculative pressure from the properties from the foreseeable future.

The design of the new building allows for 50' setbacks for 1484 Carlton and southward between the rear of the heritage properties and the new building to provide light and viewing distance for the heritage properties.

Alternatives considered include not reducing the yards with easement over the property for service and right-of-way vehicular access. This option would eliminate the use of the yards for underground parking and impact the siting of the proposed tower structure above. This option would not materially change the vehicle circulation design at the rear of the building. The owner believes the option significantly reduces the viability of the project.

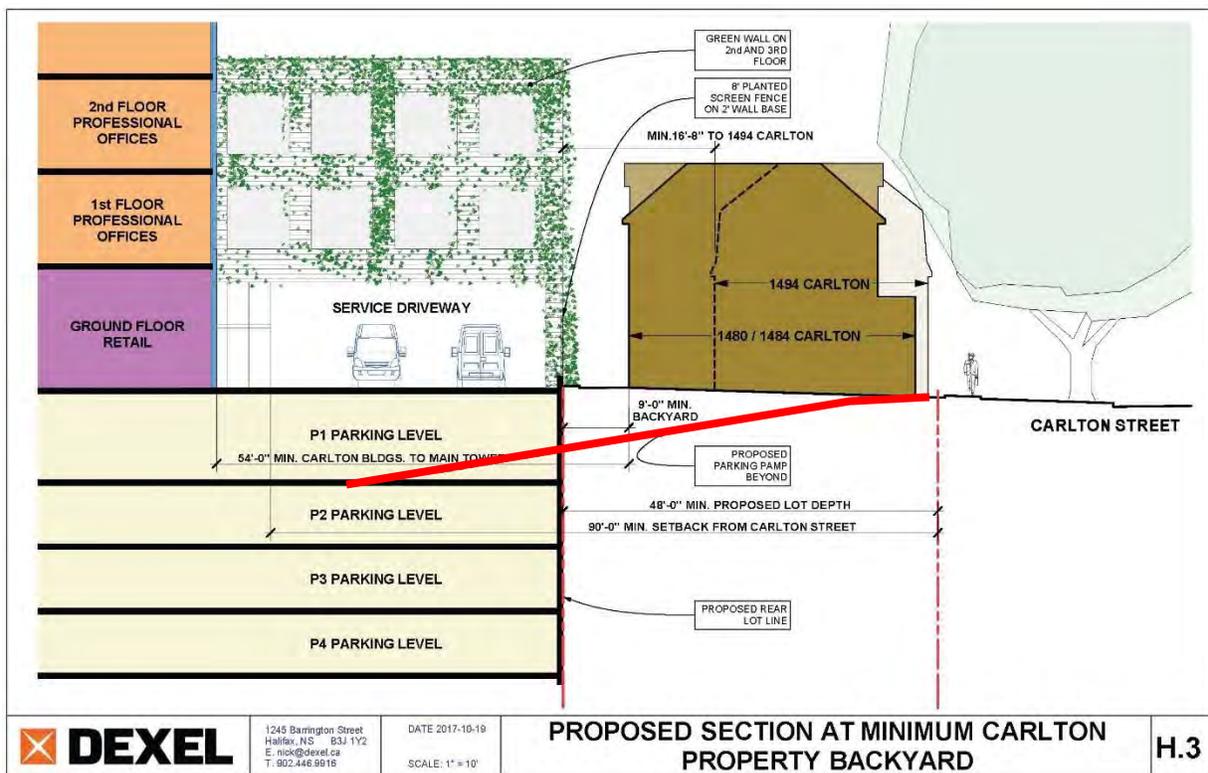
A second alternative would be the reduction of the rear yard to the line of the western boundary of 5950 Spring Garden, with easement for service and right-of-way vehicle movement off Spring Garden generally as proposed. This proposal would not materially change the rear yard condition of the heritage properties, and would encumber the proposed parking. Again, the owner believes the option significantly reduces the viability of the project.

We propose that legal subdivision of the properties proceed upon issuance of a development permit for the project. Monitoring of any shored or underpinned heritage properties during construction would be a condition of the work.

PARKING ACCESS

The project proposes utilization of the existing driveway off Carlton between 1484 and 1494 Carlton Street as the principal residential access for the new development. The access would be as an easement to 1494 Carlton. The owner has engaged Ekistics Plan and Design to review the larger site portions for vehicle access. Their report can be found in the larger project submittal. It includes a review of three options for site access including the one proposed in this report, as well as full vehicle access off of Spring Garden Road, and finally access off of Robie Street. The report concludes that Robie Street access is not reasonable. Of the remaining two, the Carlton Street residential access was considered preferable based on capacity, geometry, and safety concerns.

We repeat the previous site section drawing here to illustrate the proposed driveway.



Section Highlighting Residential Vehicle Ramp

The work would include excavation between the two heritage buildings for provision of an approximately 20' wide access ramp starting at the front face of the heritage properties sloping down to the west. At the western edge of the existing buildings the ramp would generally align with the existing buildings' foundation bearing level. To either side of the ramp would be constructed concrete retaining walls to protect the existing foundations from vehicles and thermal movement. Some underpinning of the existing buildings may be required.



Existing driveway between 1484 and 1494 Carlton

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The side wall of 1484 Carlton only has two smaller basement, and one smaller top storey window overlooking the driveway. Historical photos show a previously removed side stair window and a second third floor window. This work does not propose their re-instatement. 1494 has ground and second floor windows overlooking the driveway. We believe the proposed removal of some of the existing ground floor windows, provision of new replacement windows for those remaining, and the interior renovation for the buildings will address sound concerns for the properties. We believe removal of the ground floor windows is supported by the 1990 'existing' elevations shown later in this report.

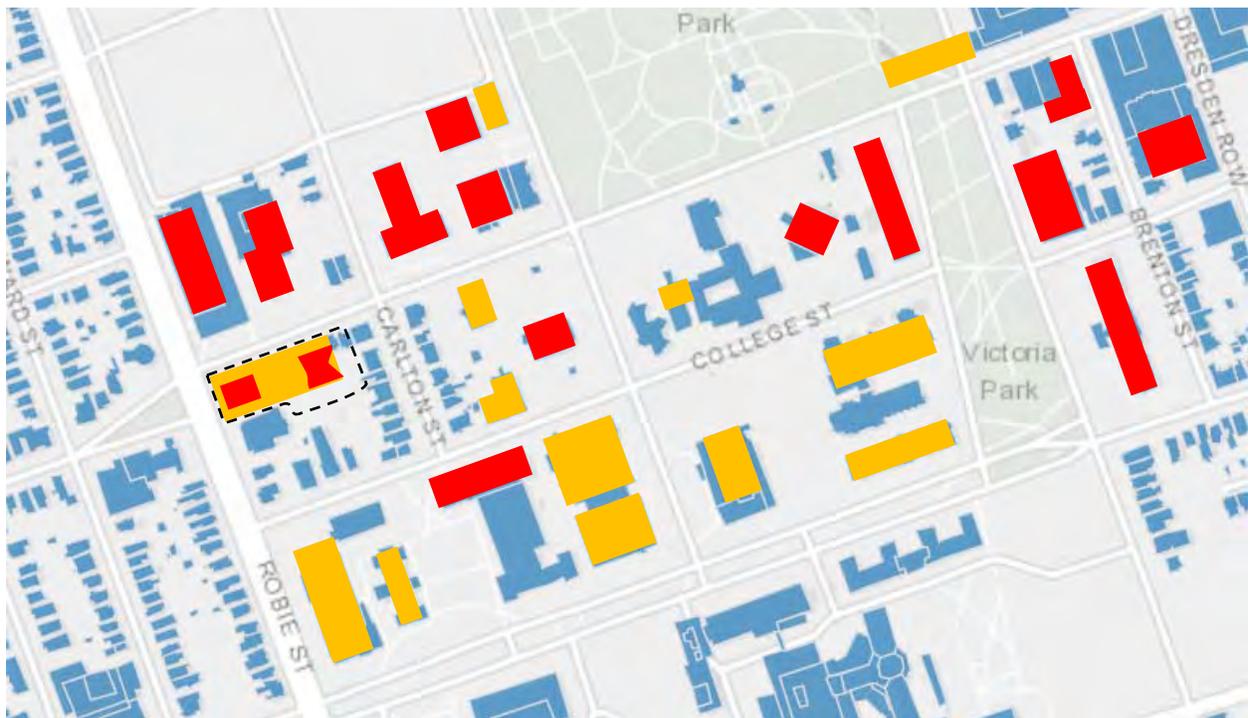


North Wall 1484 Carlton and South Wall 1494 Carlton

Given that the proposed driveway location is currently used as an access point for the existing inner block parking, and the larger urban context of the site, we do not see the use of the driveway nor any increase in traffic as significantly impacting the heritage value of the properties. We believe the practical and visual impacts on the foundations of the heritage buildings can be mitigated through design of the retaining walls, appropriate site lighting, and provision of black iron fencing at the street property line of the buildings, similar in design to the existing fencing.

BUILDING HEIGHT AND MASSING

The Carlton Street heritage streetscape remains today a cohesive low-rise residential block set within the remainder of the original Spring Gardens subdivision, which has generally transformed over the past fifty years to largely consolidated lots with larger mid-rise and high-rise commercial and multi-unit residential buildings as illustrated by the map below. This project represents a continuation of that transformation, reflecting the economic pressures and opportunities presented by the larger neighbourhood. Other projects by other developers such as Carlton Terrace and the neighbouring development at College and Robie are also proposed for the neighbourhood.



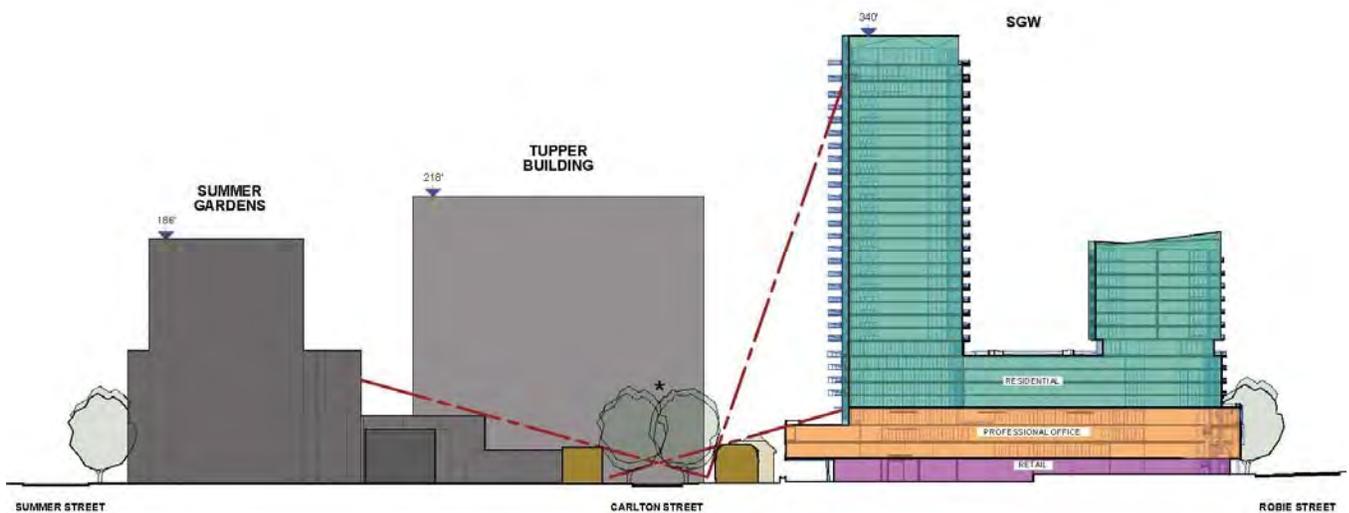
Existing Building Heights

-  Proposed Development Site with Proposed Heights
-  High Rise: Over 9 Storeys
-  Mid Rise: 4 to 9 Storeys

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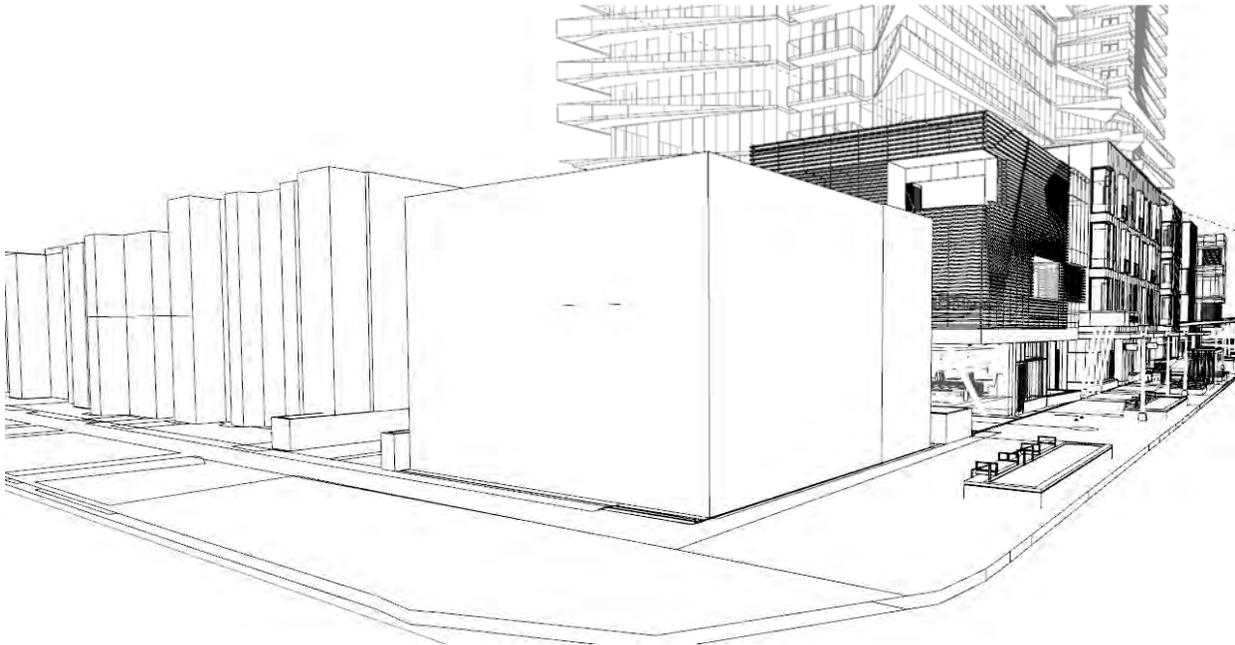
The project sits to the east and north-east of Carlton Street heritage streetscape, with minimal solar impact on the heritage district. Refer to the daylighting portions of the appended report.

For the pedestrian on Carlton Street, the close proximity of the western sidewalk to the western buildings, generally would obscure the presence of the new eastern tower. From the eastern sidewalk, the tower will be visible above the opposite homes. This is seasonally mitigated somewhat by the dense tree canopy, and the general visibility of other tall buildings in the neighbourhood.



Carlton Street Section East-West Section

The new building is generally similar in height and mass to the newer, larger additions to the neighbourhood, continuing the trend of later developments, with a focus on active street front development, with high grain articulation and differentiation of the lower four story street wall, where storefronts reflect the pattern of the existing storefronts, and varied claddings and subtle pushing and pulling of the four storey massings suggest an engaging street scape. This articulated street wall plays an important role in mitigating the visual dominance of the towers, and in transitioning to the low rise Carlton Street street scape. At it's eastern end, aligning with the eastern end of the tower above, the street wall again steps down to three storeys where the new building abuts the two storey mass of 1494 Carlton.



Transition Massing at 1494 Carlton Street

HERITAGE PROPERTIES WITHIN THE SCOPE OF WORK

Three legal properties representing five different street addresses are part of the scope of work of the proposed project which will be discussed individually in the following pages. These are 1478 Carlton Street, 1480/84 Carlton Street, and 1494 Carlton Street / 5950 Spring Garden Road.



06 1478 CARLTON STREET (FORMERLY #18)



HERITAGE VALUE

1478 Carlton Street is part of a cohesive, largely intact late 19th century residential streetscape and the last cohesive residential block portion of the initial Spring Gardens development on the South Common. Architecturally the building has value for its Victorian language and design, with Queen Anne and mid-Victorian elements.

1478 CARLTON CHARACTER DEFINING ELEMENTS

Character-defining elements properties include;

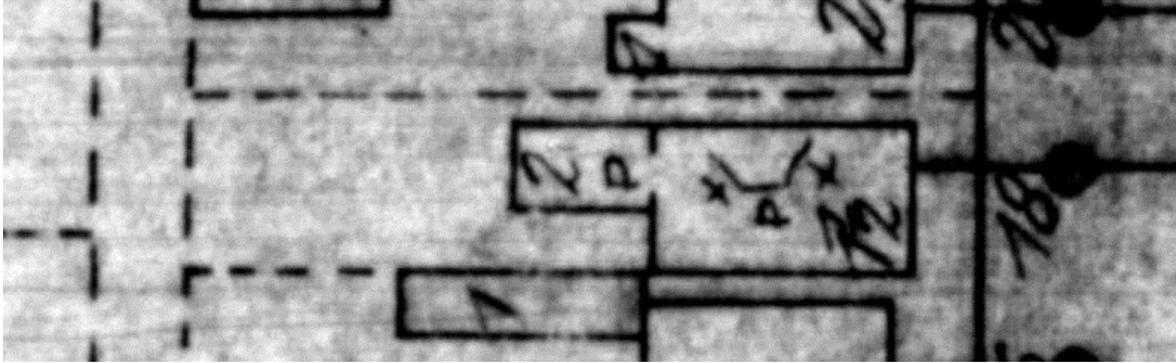
- American Queen Anne / Second Empire design;
- Front lawn with sidewalk in close proximity to entry steps;
- One and a half and two storey wood framed structure;
- Side hall L-shaped plan;
- Asymmetrical two-bay street façade with bay window and entry door with rectilinear transom and sidelights;
- Steep mansard roof with gabled dormers;
- Parged Ironstone foundation;
- Wood shingle siding;
- Two over two single hung windows;
- Decorative exterior trim at eaves, bay window, entry door and dormers;
- South-side chimney and fireplaces.

HISTORY

1478 Carlton Street was the subject of a research brief written by Wayde Brown in August 1984, the year of the Heritage registration of the property. The paper provides a list of occupants up until 1973, a description of the transfers of leases of the block west of Carlton up until the 1871 authorization of its sub-division, and a brief architectural description. The Brown report is appended to this document. The house was built in 1880 by Edmund Smith who was also the last leaseholder for the original full block parcel. Smith sold the property to Reverend Watson Smith shortly after providing the reverend with a \$1,600 mortgage for the property, and again re-assuming the property two years later upon default on the mortgage.¹⁴ The house saw a few notable local residence including Edward Gilpin, a geologist, and James Mackay, a professor at nearby Dalhousie University.¹⁵

¹⁴ 1478 Carlton Street (VII) – A Research Brief, Wayde Brown, B. Arch. August 27 1984. P.1.

¹⁵ 1478 Carlton Street (VII) – A Research Brief, Wayde Brown, B. Arch. August 27 1984. PP.1-2

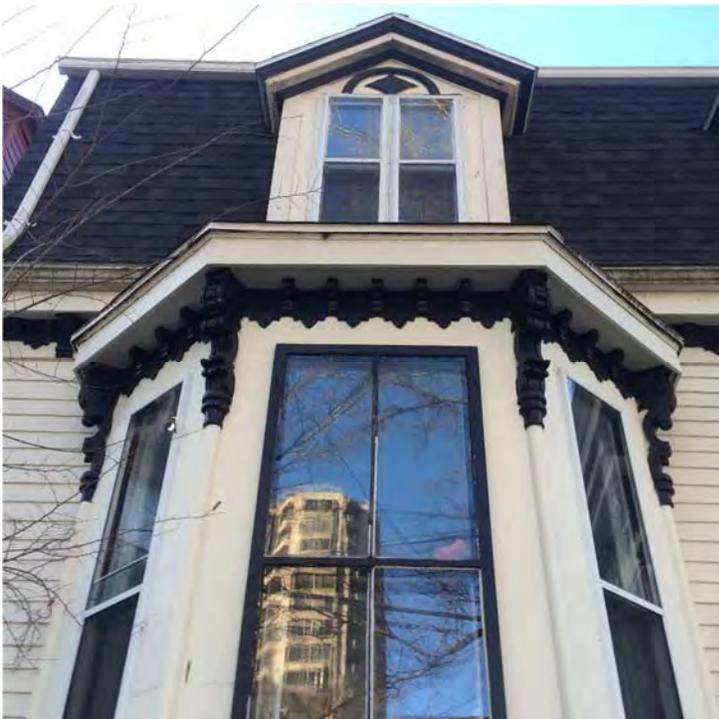


1889 Goad's Atlas, 1478 (18) detail

DESCRIPTION

The building is located mid-block on Carlton, facing east. It is a one and a half or two storey structure with mansard upper floor roof with side gables, wood framed and shingle-clad, sitting on an ironstone foundation with a white-washed parge coat. The street elevation is divided into two bays, with a south side bay window highlighting the principal front room and an entry door with transom and sidelights at the north entry. Two gabled dormers sit above ground floor bay and entry. Dormers, bay window, entry door and eaves have articulated trim work with Greek or Italianate elements. Dormers have decorative cornice fascia and a low-relief diamond shape and arch highlighting their gables. The eaves have a simple fascia and with major and minor brackets with stylized floral frieze panels between, supporting the soffit. The same frieze detail is replicated on the bay window and entry door with larger, more decorative brackets. The brackets on the bay window act as capitals over slender engaged round columns that define the windows. The entry door has the same cornice as the dormer roofs and similar half-round trim work to the bay window.

The plan is a north side hall configuration with rear north L wing. Currently the building is divided into three apartments, one on each floor including the basement. An exterior wooden fire escape on the rear of the building serves the second floor as does a small balcony. The rear yard has been converted to gravel parking accessed via a driveway common to the larger project site.



Bay and Entry Door Trim work

CONDITION

Aside from work to sub-divide the internal portions of the building, much of the original building remains. Exceptions include entry steps and railings, asphalt shingles on the mansard roof, replaced fascia boards, particularly at the bay window, window inserts with original framings, the front door, some newer windows on the rear addition, storm windows, and the balcony and fire escape. Much of the original trimwork survives on the interior though altered for fire separations.

**Spring Garden West
Heritage Impact Statement**



Rear (west) Elevation and Yard



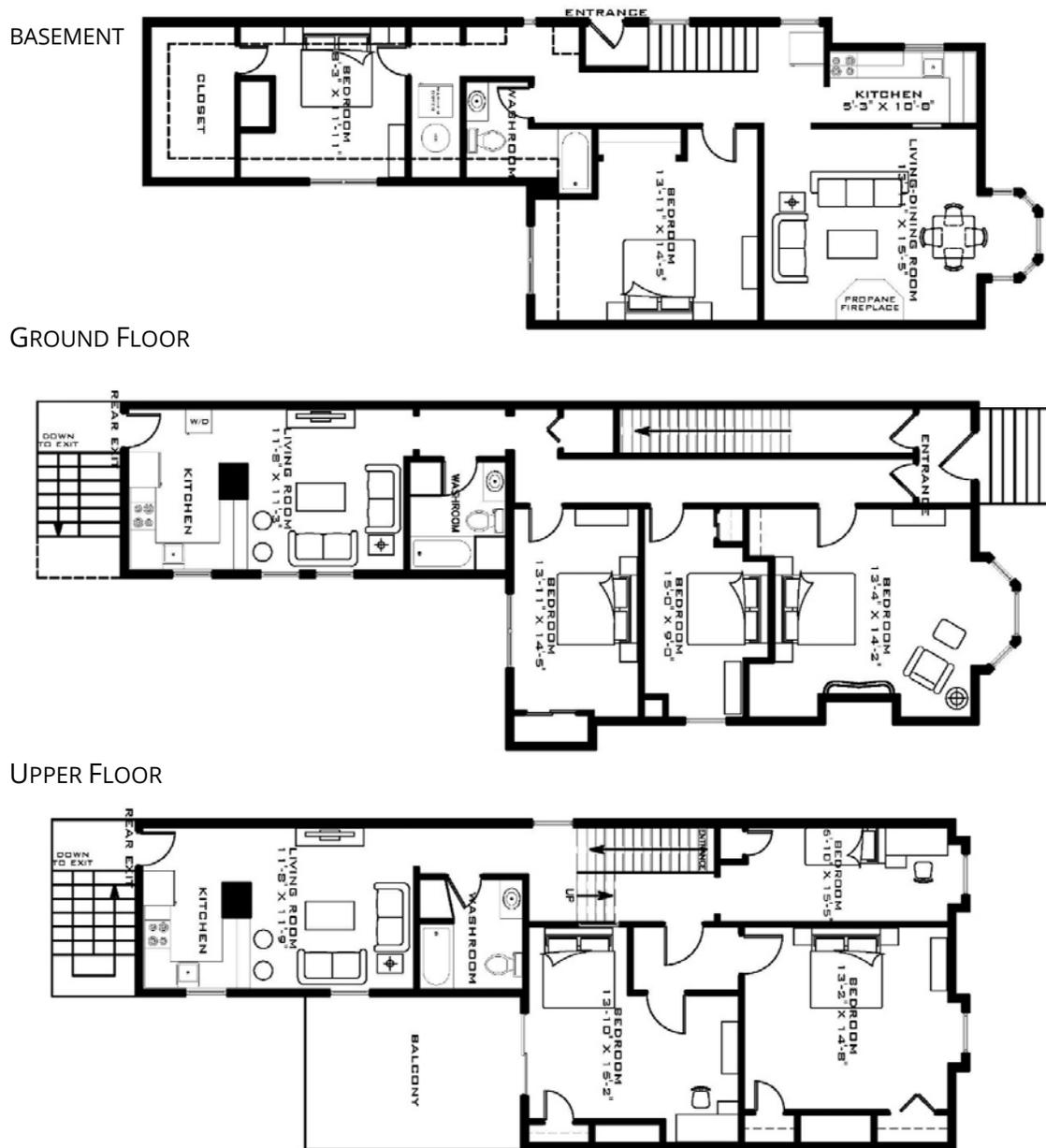
Rear Wall. Note original Window.



South and North Sidewalls. Note peeling paint shows darker Colour

FLOOR PLANS¹⁶

The floor plans generally show the interiors of the buildings as they are today and show that the general side hall with two principal rooms per floor with lesser rooms in the rear L. Based on the plans the building likely had three chimneys, two on the south sidewall for the principle rooms and one in the rear L, likely associated with a ground floor kitchen.



¹⁶ Unit Rental Plans by Paramount Management.

FUTURE USE AND HERITAGE CONSERVATION STRATEGY

The proposed work to the property involves retention of the existing building on its modified legal and independent address while returning the building to a single family, plus basement ensuite, occupancy. The owner intends to retain the property as a leased property with two parking spots within the new development assigned to the property.

The proposed conservation strategy is one of preservation of existing contributing heritage elements with selective use of adaptation for the reconfiguration of the rear L of the property and restoration of select missing building features.

PROPOSED WORK

The proposed exterior alterations to the exterior of the building include:

1. Shortening of the rear yard of the property and partial removal of the L portion at the rear of the building. The extent of shortening of the site would be as previously noted on page 19, and the building would be shortened to within 6' of the back wall of the main portion of the home, 4' clear of the proposed revised property line.
 2. The remaining rear L wing openings would be modified to include a new ground floor door, and windows on ground and second floors.
 3. Replacement of the existing steep-pitched Mansard roofs asphalt shingles with new cedar shingle cladding.
 4. Replacement of existing low-slope roofing with two ply mod-bit roofing or similar.
 5. Repair of the rear and front dormer windows, including replacement of patio door and modern front windows with new window and trimwork, refurbishment of existing fascia, and provision of new wood shingle cladding.
 6. Repair of the existing rear ground floor window, including resetting of sill, complete with new wood insert windows.
 7. Refurbishment of bay windows and provision of two new replacement storm windows.
 8. Refurbishment of existing exterior door with provision of new latch set and gasketing.
 9. General selective repair, cleaning and repainting of the wood trim and claddings. Colours to be based on analysis of existing material. 1950's photo and existing peeling paint suggests a darker colour scheme.
 10. Replacement of existing entry steps with new wood steps with metal rails. Existing granite stone landing to be moved out approximately 12" to the line of the sidewalk to improve stair geometry.
 11. Removal of upper front rain gutter and replacement with new fascia cornice trims front and back.
-

12. Replacement of lower front rain gutter and re-routing of rain water leader to south side of building.
13. Reconstruction of the two southern chimneys.
14. Repair of front elevation foundation brickwork and whitewash finish.
15. Forming of window well at rear west wall window and front bay windows and replacement of same windows with taller basement windows.
16. Selective repointing of ironstone foundation and brick window openings.
17. Removal of the existing rear upper floor balcony and provision of a new rear deck at the ground floor level.
18. New wood windows: thermally broken, aluminum clad wood windows, with exterior trim work to match surviving original windows.

The proposed interior alterations to the exterior of the building include:

1. Removal of added ground floor partitions to re-establish original two principal room side-hall layout. And re-instate the ground floor side stair hall, with retention and repair of removed portions of main stair railing and treads.
2. General removal and replacement of existing plaster and flooring finishes for general renovation of the interior, including new kitchens and bathrooms.

CONSIDERED ALTERNATIVES

The rationale for the shortening of the rear L has been addressed earlier in this report within the discussion relating to the shortening of site's rear yard. We propose that this shortening does not reduce the heritage value of the property which lies principally in its contribution to an overall heritage street scape, nor greatly affect its integrity as a cohesive building. A considered alternative to shortening of the rear L wing was complete removal of the L and extension of the mansard roof across the full back of the building was rejected on the basis that we believe the L form is original to the structure.

07 1480/84 CARLTON STREET (FORMERLY #20/22)



HERITAGE VALUE

1480/84 Carlton Street is a duplex structure forming part of a cohesive, largely intact late 19th century residential streetscape and the last cohesive residential portion of the initial Spring Gardens development on the South Common. Architecturally the building has value for its late Victorian language and design, with Italianate / Georgian elements.

1480/84 CARLTON CHARACTER DEFINING ELEMENTS

Character-defining elements properties include;

- Modified Halifax Style symmetrical duplex with late Victorian/Italianate detailing;
 - Front lawn with sidewalk in close proximity to forward facing entry steps;
 - Two and a half storey wood framed structure;
 - Side hall plan;
 - Three-bay street façades with lower bay window and gabled entry porch under three second floor windows;
-

- Truncated principal gable roof with simple shed dormers front and back level with the low slope portion of the roof;
- Central back-to-back chimneys along the dividing line between duplex halves;
- Painted Ironstone foundation with brick at window openings;
- Wood shingle siding;
- Two over two single hung windows (where originals exist);
- Round-arched entry door transom and sidelights;
- Decorative exterior trim at eaves, bay window, entry door and windows.

DESCRIPTION

The building is located north of the previously discussed 1478 Carlton. It is two and a half storey duplex with a symmetrical front façade in the Halifax house style with exterior wall side hall plan arrangement. The façade is highlighted by Italianate trim and detailing, focusing on the projecting entry porches and ground floor bay windows towards the party walls. The porches are gable-roofed with bracketed and paneled eaves over the arched transom and sidelight windows of the front-facing front doors. Surviving original windows suggest two over two single hung windows were the original intent and each second floor has three evenly spaced windows facing the street. With the exception of the entry porches most windows are modern replacements.

Above, a truncated gabled roof is highlighted by detailed bracket and panel entablature, with each half of the building having a simple centred shed dormer to the front and back. Central back to back chimneys have been partially replaced with modern steel chimneys.

The building sits on a largely ironstone foundation with partially raised basement floor. The structure above is wood framed with shingle cladding. Sidewalls are generally blank with the exception of small third floor windows and a south side door.

**Spring Garden West
Heritage Impact Statement**

Currently the building is divided into a basement apartment, a ground floor spa, with the remainder in small offices. The building appears to be fully sprinklered. On the interior the majority of finishes are modern, though the plan appears to maintain its original back to back double chimneys. The rear yard has been converted to gravel parking accessed via a driveway common to the larger project site.

The building is in general good repair with minor deterioration noted at fascias, entry stairs, door sills and adjacent trims.



Rear Elevation



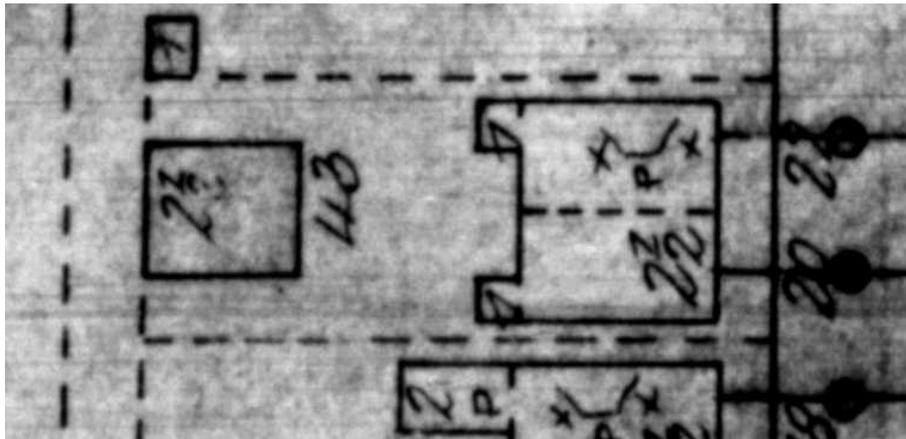
Bay Window and North Porch, and North Porch Interior



Bay Window at grade and porch entry door.

HISTORY

1480/84 Carlton Street is noted as constructed circa 1860¹⁷. If true, this building predates the 1871 approval of sub-division of the original allotment. The buildings do not appear on the 1865 Church's map but do appear on the 1878 Hopkins Atlas, complete with paired outbuildings aligning on the rear access lane. These outbuildings are shown as a single two and a half storey structure on the 1889 Goad's atlas below. There is a possibility this building is the same as shown on the 1830 Commons map in the same general location, though this is far from certain. The 1895 map shows this outbuilding as removed and replaced with two smaller individual out buildings located to either side of the property, set in from the rear lane.



1889 Goads Atlas Detail

The 1889 Atlas shows two rear single storey bumps, which do not appear on Hopkins. The more northerly of these bumps appears to be referenced for removal in a 1990 Halifax city Information report for the conversion of the property to commercial use, where it is shown in elevation and plan.

¹⁷ HRM Heritage Property Registry



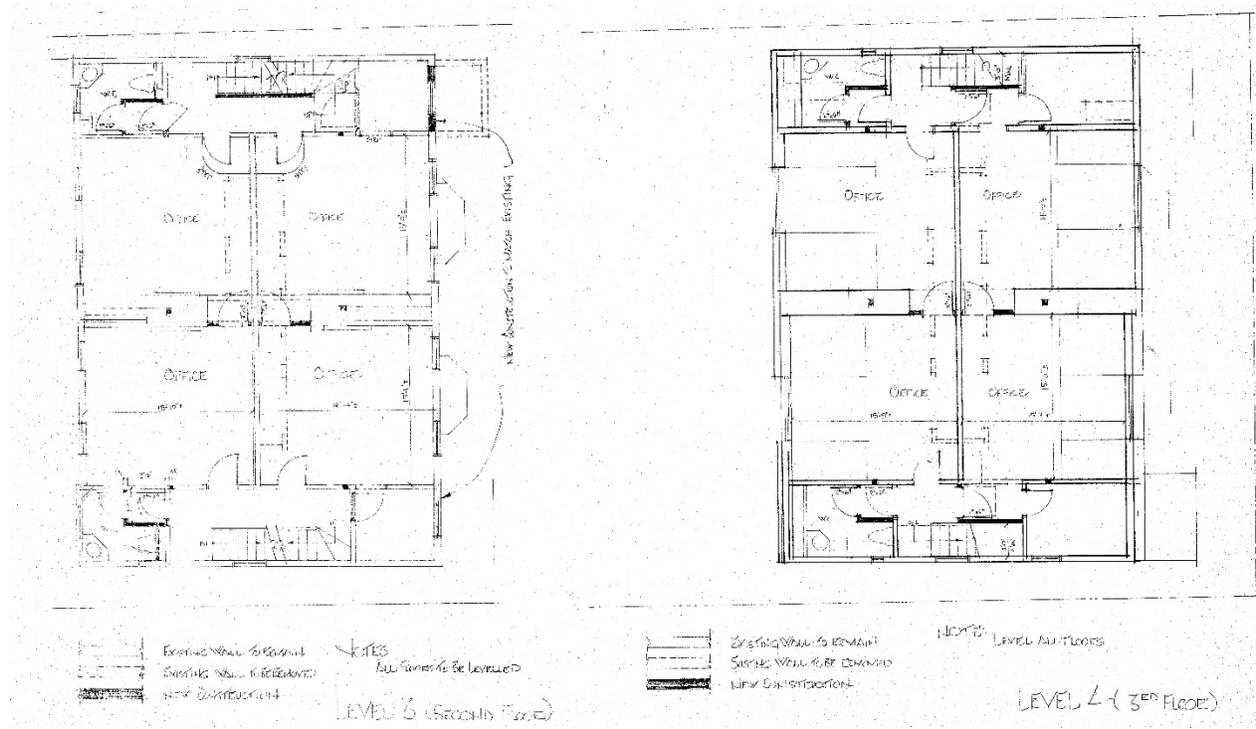
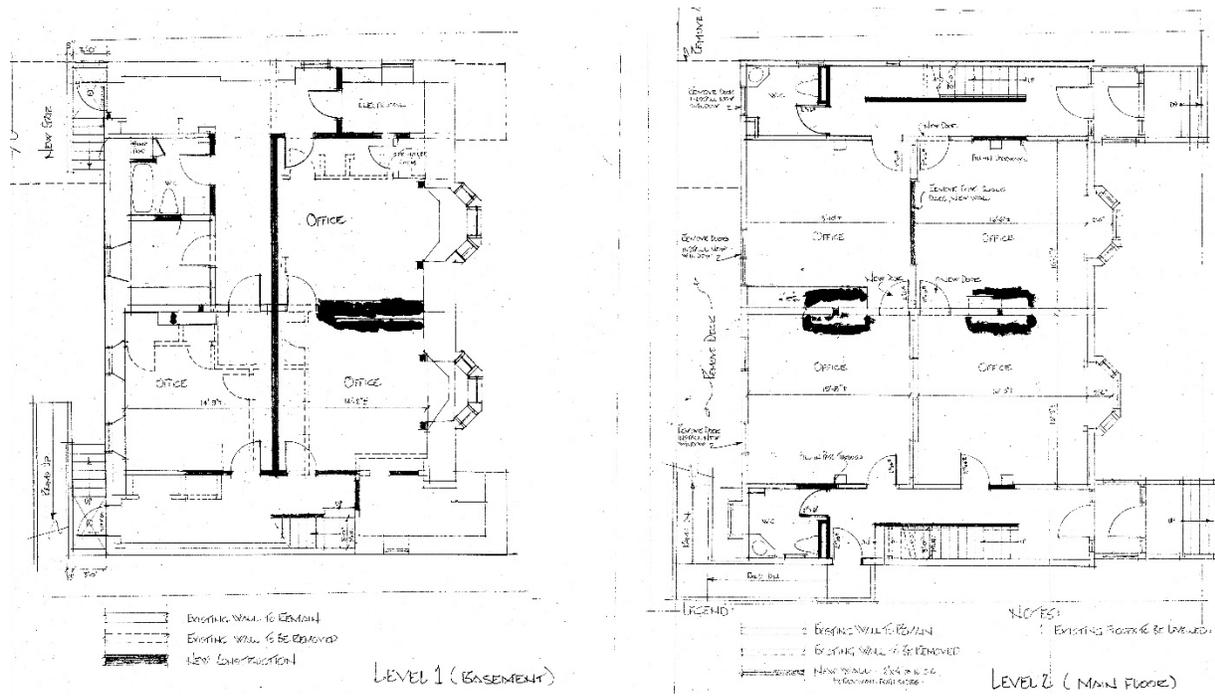
1990 Existing Elevation Sketches

The 1990 renovations are related to the conversion of the homes from residential to office use. In addition to the rear removal they show a new parking layout for the rear yard, new exterior stairwell on either side for basement access, a new exterior south side ramp for ground floor access, interior wall removals and additions combining the buildings at each floor level, and the removal of an upper floor portion of the northern main entry porch and replacement with a roof replicating the southern porch.

This porch is visible in the 1950's funeral parade photo. It is likely, but not certain, that the upper floor over the porch was a later addition. Also note that the south porch has arched side windows while the north has square windows. The north porch today retains the square windows. It is not the intent of the new work to re-instate this second floor of the north porch.



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1990 Floor Plans by G.E.C. Architect Ltd.

The 1990 plans generally describe the building as it is today and indicate the original residential layouts.

FUTURE USE

The proposed work to the property involves retention of the existing building on its modified legal and independent address while returning the building to a north-south division with two units on either side of the original party wall. The lower units would include living spaces on the ground floor with basement bedrooms. The upper units would have Living spaces on the second floor with bedrooms on the third floor. The second floor units would be furnished with new balconies at the rear of the building. A minimum of one parking spot per unit would be assigned to the property within the new development.

The intent is to utilize the building's existing sprinkler system and the Nova Scotia Building Code's Schedule D Alternate Compliance, item #21, to eliminate the need for a second means of egress for the upper units.

HERITAGE CONSERVATION STRATEGY

The proposed conservation strategy is one of adaptive re-use with preservation of existing contributing heritage elements and select restoration of select missing building features.

PROPOSED WORK

The proposed exterior alterations to the exterior of the building include:

1. Shortening of the rear yard of the property.
2. Replacement of the existing sloped roof top trim boards, and lower fascia.
3. Repair of the rear and front dormer windows, including replacement of modern windows with new paired single-hung two-over-two windows, and new eaves and window trim work. Gutters and Rain water leaders to be removed with roofing modifications to limit run-off to dormer roof only.
4. Reconstruction of the two central chimneys.
5. Replacement of the bay windows with new paired single-hung two over two windows set within existing trim work.
6. Replacement of the front elevation second floor windows and the rear elevation ground and second floor windows with new paired single-hung, two-over-two windows set within new exterior trim work to match existing original square windows.

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7. General selective repair, cleaning and repainting of the wood trim and claddings. Colours to be based on analysis of existing material.
8. Replacement of existing entry steps with new wood steps with metal rails. Existing stone landing to be moved out approximately 12" to the line of the sidewalk to improve stair landing geometry.
9. New wood windows to be thermally broken, aluminum clad wood windows, with exterior trim work to match surviving original windows.
10. Forming of window wells at rear west wall basement windows and front bay windows and replacement of same windows with taller basement windows.
11. Selective repointing of ironstone foundation and brick window openings.
12. Provision of second floor rear decks over new ground floor rear entry doors.
13. Removal of the rear basement access stairs.

The proposed interior alterations to the exterior of the building include:

1. Renovation of the basement level apartment.
2. Retention of remaining original wood trim work at entries.
3. Reinstatement of the open ground floor side halls with replacement of removed railings.
4. Replacement of commercial interior doors with solid wood residential doors.
5. Re-instatement of ground floor pocket doors.
6. Selective wall removals at second floor.
7. Provision of new third floor closets.
8. New kitchens in the western second floor rooms.
9. Renovation of the existing bathrooms.
10. Removal of commercial t-bar ceilings and adjustment of existing sprinklers to suit new conditions.

CONSIDERED ALTERNATIVES

The rationale for the shortening of the rear yard has been addressed earlier in this report within the discussion relating to the shortening of site's rear yard. We propose that this shortening does not reduce the heritage value of the property, which lies principally in its contribution to an overall heritage street scape, and that the proposed renovations provide alternative exterior amenity space.

08 NOAH'S ARK - 1494 CARLTON STREET / 5950 SPRING GARDEN ROAD (FORMERLY #28)



HERITAGE VALUE

1494 Carlton Street is part of a cohesive, largely intact late 19th century residential streetscape and the last cohesive residential block of the initial Spring Gardens development on the South Common. Architecturally the building has value for its Second Empire form and design, with Italianate elements. It is also valued for its association with notable past residents Rev. Edward Manning Saunders and his daughter Margaret M Saunders.¹⁸

The property also incorporates the building at 5950 Spring Garden Road, added to the listing through circa 1990 renovations which combined the two properties through an adjoining addition. We understand the intent of the original heritage designation of the

¹⁸ With the assistance of research by Scott MacKnight

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Carlton Street addresses be the preservation of one entire block of Carlton Street as a representative intact example of late Victorian architecture. We propose that the addition of the Spring Garden Road address was a matter of legal extension through the consolidation of the properties and joining of the structures. As such this proposal requests the demolition of 5950 Spring Garden, and the reduction of the property lot to the original 1494 Carlton Street address. 5950 Spring Garden will be represented through the presentation of the proposed scope of work to 1494 Carlton Street.



1494 North Elevation



5950 Spring Garden North Elevation with adjoining addition to 1494 Carlton.

1478 CARLTON CHARACTER DEFINING ELEMENTS

Character-defining elements properties include;

- Second Empire design;
- Front lawn with sidewalk in close proximity to entry steps;
- One and a half storey wood framed structure;
- Side hall L-shaped plan;
- Asymmetrical three-bay principal street façade with double-arched windows (removed) and entry door with shallow-arched transom and sidelights (altered);
- Full Mansard roof with shallow shed dormers;
- Painted brick foundation to grade, on ironstone below grade;
- Wood shingle siding (altered);
- Two-over-two, single hung windows (altered);
- Decorative Second Empire / Italianate exterior trim at eaves, window, entry door and dormers (altered/removed);
- South chimney. (along original south wall)

1494 CARLTON DESCRIPTION AND CONDITION

1494 Carlton Street is a one and a half storey Second Empire home with Mansard roof, wood framed, shingle-clad walls sitting on a brick and un-coursed ironstone foundation. The building began as a north side-hall plan building with short rear L extending along Spring Garden Road. Later additions extended the building south and west to give the general form seen today integrated at basement and ground floors to its 5950 Spring Garden neighbour. The building has seen substantial renovation with the loss of original single roofing and siding, windows and doors, and decorative trim work. To describe it today one would note replacement modern windows and doors, not in keeping with the

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original in size, form or placement, inappropriate trim work where existing, and dark-stained and wide weathering western red cedar shingle cladding and saw-toothed shaped asphalt shingles adorning the roof. Matching exterior finishes have been added to 5950 Spring Garden Road. Inside the buildings have been converted to office use.



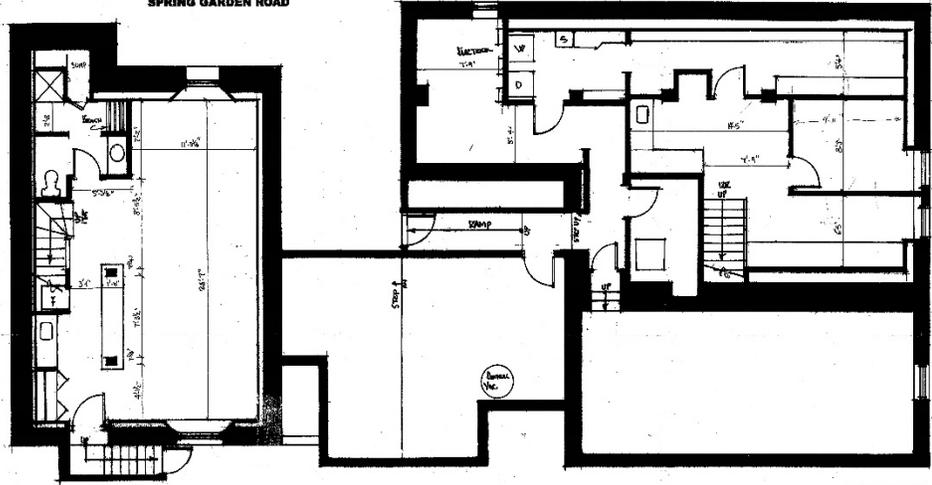
South Elevations.

On the interior, portions of the original side-hall plan still remain, with the least changes made to the upper floor. Vestiges of original finishes remain, including the original curving entry hall stair, entry hall plaster moldings, and the occasional upper floor door trim.



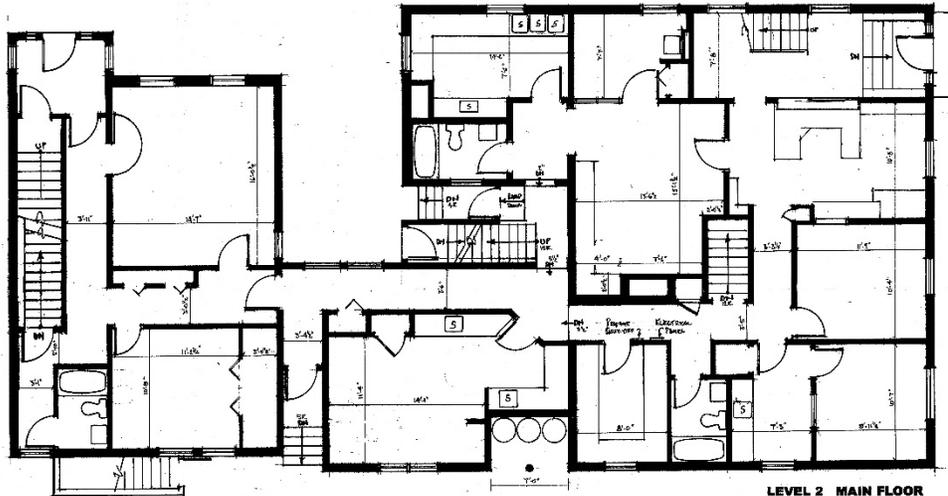
1990 Floor Plans by
G.E.C. Architect Ltd.

SPRING GARDEN ROAD

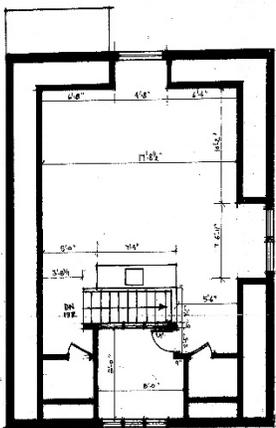


LEVEL 1 BASEMENT

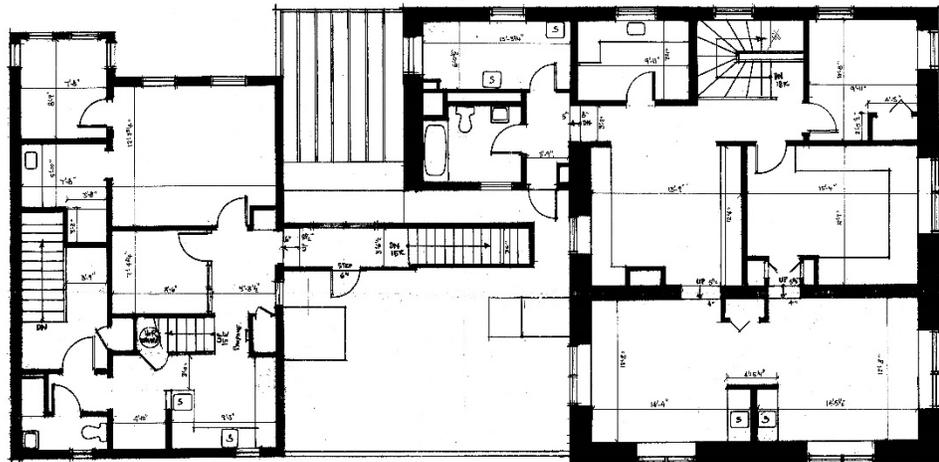
SPRING GARDEN ROAD



LEVEL 2 MAIN FLOOR



LEVEL 4 LOFT



LEVEL 3 UPPER FLOOR

**Spring Garden West
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1494 CARLTON HISTORY

1494 Carlton Street is noted as constructed circa 1860¹⁹. If true, this building predates the 1871 approval of sub-division of the original allotment. The building does not appear on the 1878 Hopkins Atlas but does appear on the 1879 Birds Eye view of Halifax and the 1889 Goad's Atlas. It was built by J.W. Rhuland²⁰ for Baptist Rev. Edward Manning, 1829 to 1916, a noted theologian, community leader, and author. Saunders and his wife Maria Freeman raised seven children in the home. His interests and accomplishments in social reform and social-political writing²¹ were reflected in the education and accomplishments of his daughter Margaret Marshall Saunders.



*Rev. Saunders in his doorway.*²²

¹⁹ HRM Heritage Property Registry

²⁰ Historic South End Halifax, Peter McGuigan, Nimbus Publishing, 2007. P.41

²¹ http://www.biographi.ca/en/bio/saunders_edward_manning_14E.html

²² Photo courtesy Patricia Townsend, Acadia University Archives

Ms. Saunders, 1861 to 1947, was an accomplished author, writing under the name Marshall Saunders, and best known for her 1894 novel *Beautiful Joe*, which made her the first Canadian author to sell over one million copies. She was a recipient of the Order of the British Empire, and was well known for her social activism in the fields of child and animal welfare and women's suffrage, through her writing, speaking, and organizations²³. In 1947, the year of her passing, she was named a "Person of National Historical Significance" by the Government of Canada.²⁴ 1494 Carlton Street was her home during much of her writing career until her relocation to Toronto circa 1913. Her 1908 book *My Pets; Real Happenings in My Aviary*, detailed the menagerie of animals kept in the home with notes about the home, particularly its second storey aviary. Birds were kept in the basement, second floor bath rooms, and the aviary²⁵. The home was locally known as 'Noah's Ark'.²⁶

The aviary deck is shown in the following photos, earlier without enclosure, and later with enclosing walls and forms part of the cultural association with Ms. Saunders. The photos show the original railings on the south deck.



South deck aviary, looking west.²⁷

²³ Research paper By Scott MacKnight. See appendices.

²⁴ <https://www.collectionscanada.gc.ca/women/030001-1470-e.html>

²⁵ *My Pets; Real happenings in my Aviary*, Saunders, 1908, pp 25-28

²⁶ From the research of Kathy Day, Just us Coffee, with assistance of Pat Townsend, Acadia University Archives.

²⁷ Photo displayed at Just Us Coffee, 1489 Carlton Street.

The basement aviary was just under my study and my father's. Above the studies was a sun-room. The veranda and sun-room were wired in so the birds could not get out, but as there was no access to them through the studies, a narrow well or elevator, as we called it, had been built at the back of the house.

Birds went up and down this elevator like flashes of color, and seemed to enjoy the fun. Some of them preferred to sleep above, some below.²⁸



South Deck Looking East at enclosure. Note this enclosure is shown on God's Maps, 1914 forward.²⁹

²⁸ My Pets; Real happenings in my Aviary, Saunders, 1908, pp 43

²⁹ Photo courtesy Gwyn Davies, University of New Brunswick.

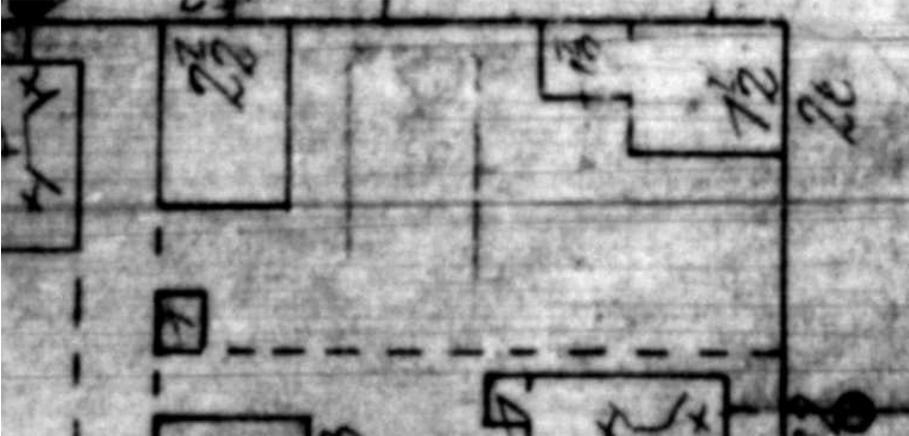


Margaret Marshall Saunders, on the south deck, looking east.



South Deck Circa 1950's with enclosure

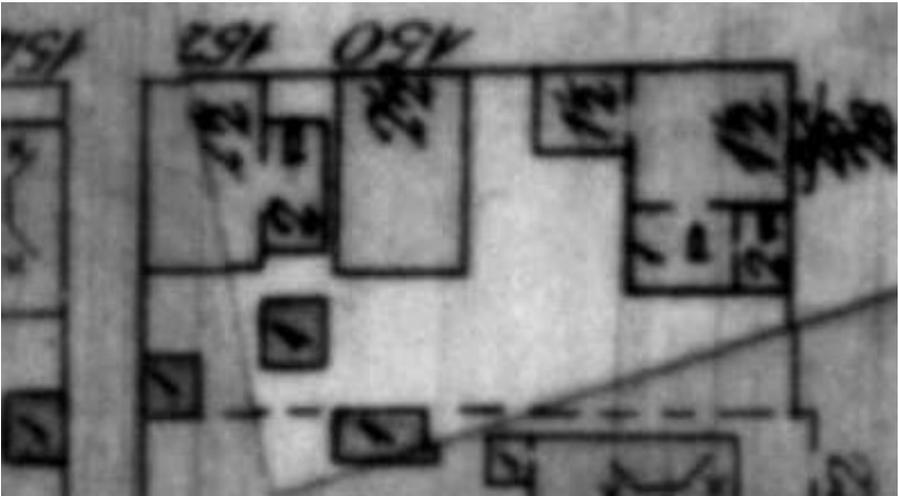
Spring Garden West
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1889 Goad's Atlas Detail



1895 Goad's Atlas Detail



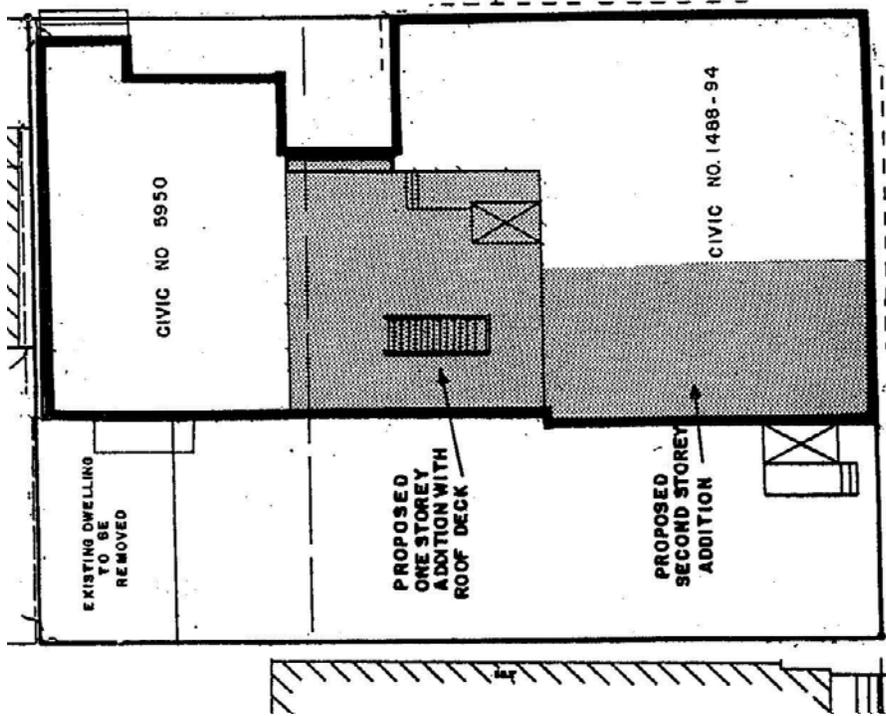
1914 Goad's Atlas Detail

The preceding fire atlas images show that in 1889 the footprint of the building did not extend as far south as the present building, a fact re-enforced by the basement floor plan. By 1895 the home at 5950 has been constructed on the rear yard of the property. The south addition is known to have been built prior to the the 1908 publication of My Pets, and the 1914 Atlas shows a second floor enclosure at the east side of the aviary deck. The 1950's aerial photo on page 16 shows the deck enclosure over the full width of the second floor deck.

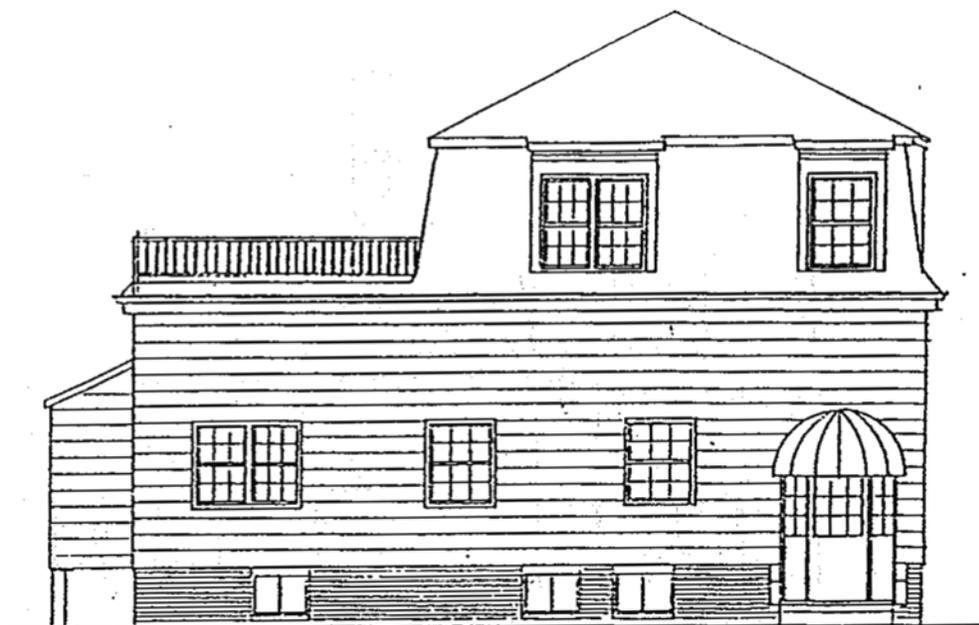
The 1990 floor plans shown below are accompanied by the following site plan and elevations, believed also by G.E.C. Architect Ltd. They show that many of the alterations preceded the 1990 renovations, but also indicate the changes made at that time. Plans and elevations generally represent the buildings as they stand today.

The site plan represents the removal of a small south entry porch, stairs and porch in the inside corner of the rear L, and a rear 'dwelling' at 5950 Spring Garden. The properties are represented as two legal addresses.

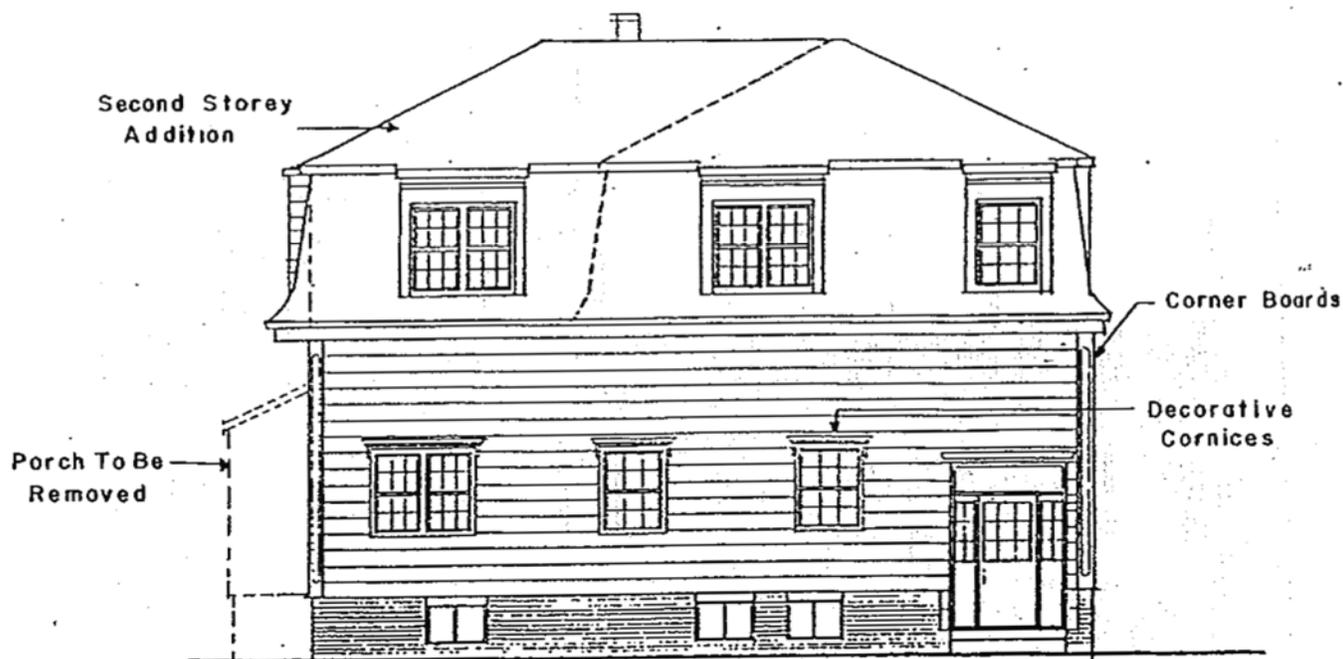
Spring Garden West
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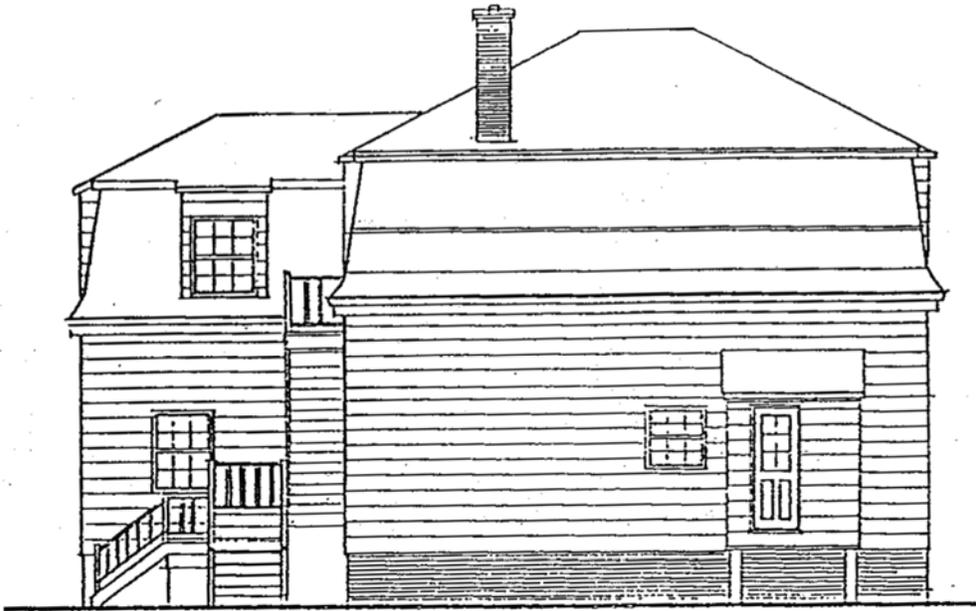
Site Plan, 1990, by G.E.C. Architect Ltd.



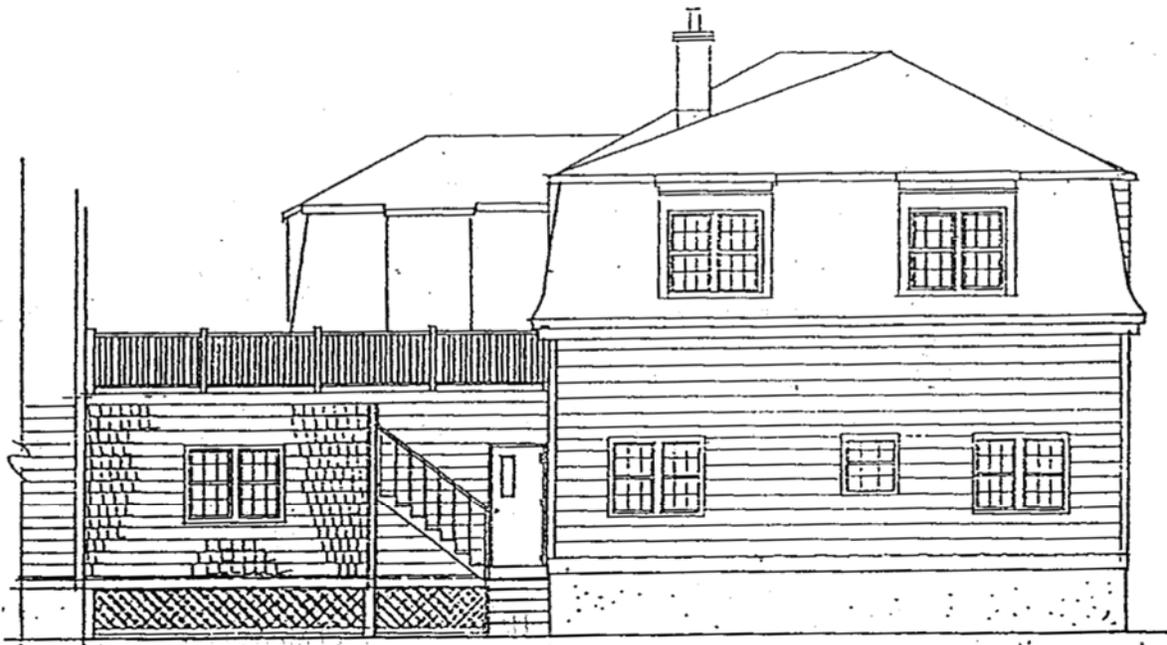
EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION



EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

'Existing' and 'Proposed' Elevations, 1990, by G.E.C. Architect Ltd.

FUTURE USE

The proposed future use of the property involves retention of the existing building at 1494 Carlton on its modified legal and independent address, reflecting its 1990 western property line. The building will be returned to residential use, with separate ground and second floor apartments. A minimum of one parking spot per unit would be assigned to the property within the new development.



1953 Funeral Parade, detail

HERITAGE CONSERVATION STRATEGY

The proposed conservation strategy is one of combined adaptive re-use and restoration with preservation of existing contributing heritage elements. The work proposed is the most significant intervention to any of the subject heritage properties, but we believe there is sufficient rationale and evidence to support the proposed changes. The existing historical images of the building, the 1990 documentation of the building, and the building itself will guide the proposed work.

Along with the demolition of 5950 Spring Garden Road, we are proposing the removal of the 1990 west addition, and the 1990 second floor south addition. We believe these removals will re-establish the building's intended form and internal layout.

The south addition will be retained as a complimentary and supportive addition in the history of the structure and the re-instated roof deck will provide additional exterior amenity space for the new tenants. The west L wing along Spring Garden will also be retained as an original contributing portion of the building. Both retentions maintain the street wall of the building.

1953 Funeral Parade, detail.





*Existing Step and Transition in Foundation Wall
Between Stone and Brick in rear L.*

*Foundations are continuous between main
building and the L wing.*

PROPOSED WORK

The proposed exterior alterations to the exterior of the building include:

1. Removal of 5990 Spring Garden and shortening of the rear yard of the property to the pre-1990 line.
2. Removal of the 1990 western addition.
3. Removal of the 1990 south second story addition and return to the original mansard roof lines.
4. Replacement of the Mansard roof claddings including upper roof simple asphalt shingles, lower slope cedar shingles, reconstruction of the trim boards between roof slopes complete with dentil detailing, and the reconstruction of roof dormers complete with new two-over-two windows and trims based on surviving evidence. Includes removal of existing second floor door to existing roof deck.

5. Re-instatement of the south second floor roof deck with railings based on historical photographic evidence. Includes new access door and dormers along re-instated south Mansard roof.
6. Replacement of all windows with new two-over-two windows with locations, arched tops, and trims based on photographic and surviving evidence.
7. Replacement of front entry door with new transoms, side lights, arch profile, and trims based on photographic and surviving evidence.
8. Replacement of shingle cladding with historical exposure to weather, with new narrow round corner boards.
9. Re-construction of the eave and soffit roof entablature including brackets and low-relief detailing.
10. Re-instatement of a taller entry hall stair window breaking the eave cornice.
11. Removal of two larger ground floor south windows facing driveway.
12. Addition of a new ground floor deck in the inside corner of the L wing complete with new doors for ground floor unit use and access.
13. Selective repair and repointing of brick and ironstone foundation, particularly where window openings filled with 'softs'. Legibility of closed openings to remain.

The proposed interior alterations to the exterior of the building include:

1. Retention and conservation of remaining original stairs and trim work at entry and re-instating of internal vestibule wall and door. Main entry to serve upper unit.
2. General renovation for residential use including new kitchen, bathrooms and living rooms.

CONSIDERED ALTERNATIVES

The rationale for the shortening of the rear yard has been addressed earlier in this report within the discussion relating to the shortening of site's rear yard. We propose that this shortening does not reduce the heritage value of the property which lies principally in its contribution to an overall heritage street scape.

Retention of the 1990 additions has been considered. With respect to both additions we believe the resulting changes to the internal layouts of the buildings result in spaces that are neither clearly defined, nor conducive the original residential use of the building. Their retention and subsequent renovation would also lead to substantial amounts of conjecture as to what the building would or should have looked like, while their removals lead to supportable restoration solutions.

09 PROJECT SCHEDULE AND REPORTING STRUCTURE

While the project will follow the Municipal procedures for approvals and permitting of the work, we offer the following commentary on proposed heritage scope of work development:

1. Existing conditions elevation drawings are attached to this report as record submission.
2. Proposed schematic design elevations are appended to this report.
3. Documents confirming the conservation strategies will be prepared showing anticipated extents of work. These will be reviewed with City Staff and will form the basis for building permit and construction documents, which will confirm proposed scope and details.
4. A Building Code Analysis will be prepared for the buildings addressing the potential proposed means of alternative compliance for existing building re-use. These will be reviewed with City Staff and will form the basis for building permit and selective demolition and construction documents.
5. Excavation of a heritage site and artifact recovery plan will be prepared.
6. The preparation of a construction monitoring plan will be prepared outlining the documentation and monitoring of the protection of the retained and conserved historical elements of the building.

10 SUMMARY

In conclusion, the new contemporary podium and tower construction, while high in density, will fit within the overall context of the surrounding existing neighborhood while minimizing impacts and maintaining the historical value of the adjacent registered heritage structures and streetscape.

The buildings at 1478, 1480, 1484 and 1494 Carlton Street, are strong contributing buildings with the streetscape. They present a spectrum of maintenance and surviving heritage elements, and as such a mix of heritage conservation strategies covering preservation, rehabilitation and restoration will be applied as appropriate to each building. The work will maintain the heritage value of the buildings, returning them to appropriate residential use, and bring them to a level of repair and finish that will sustain and stabilize both the buildings themselves, and their contributions to the larger heritage streetscape.

**Spring Garden West
Heritage Impact Statement**

APPENDICES:

Appendix A: Existing and Proposed Elevations

Appendix B: 1478 Carlton Street (VII) – A Research Brief, Wayde Brown, B. Arch. August 27, 1984.
HRM Archives CR 30J 12.6

